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CONSULTANTS

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CIVIL ENGINEER	C & M CONSULTING ANTHONY MANCONE - P: 0406 659 496 ANTHONY@CMCE.COM.AU

LEGEND

NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR

RED PROPOSED WORKS  
GREEN PROPOSED LANDSCAPING

EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONARY WALL
PS	PROPOSED CONCRETE FIRE STAIR
PLP	PROPOSED LIGHTWEIGHT PARTITION
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ISSUE FOR DA APPLICATION

G	04.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
F	21.03.17	ISSUE FOR DA APPLICATION
E	01.03.17	ISSUE FOR DA APPLICATION
D	15.12.16	ISSUE FOR DA APPLICATION
C	01.12.16	ISSUE FOR CO-ORDINATION
B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

ACME  
& O

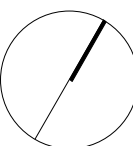
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46a macleay street  
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info@acme-co.com.au  
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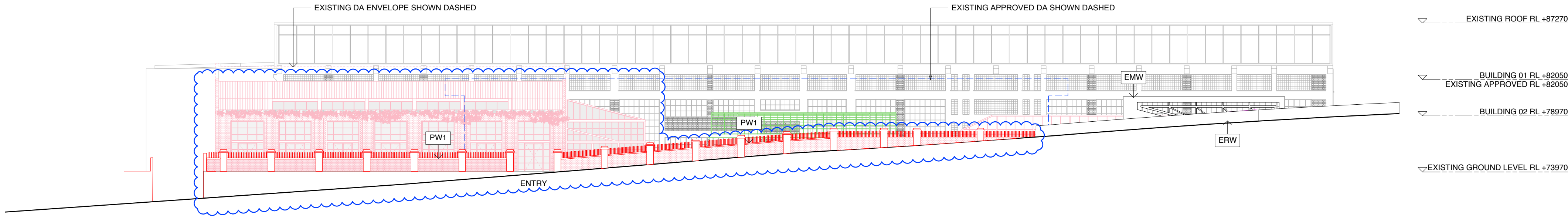
PROJECT  
ARTARMON HOME HQ  
1 FREDERICK STREET, ARTARMON

DRAWING  
PROPOSED : ROOF PLAN

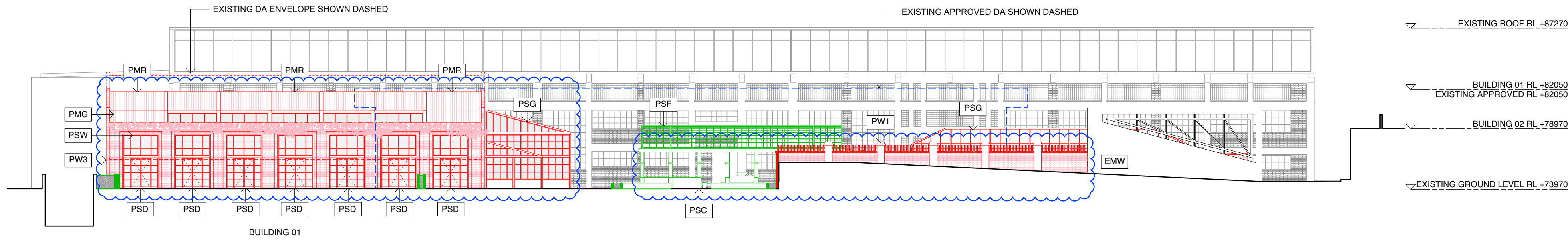
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06:13	23.11.2016	1:250 @ A1

DRAWING NUMBER	REVISION
A.04.01	F

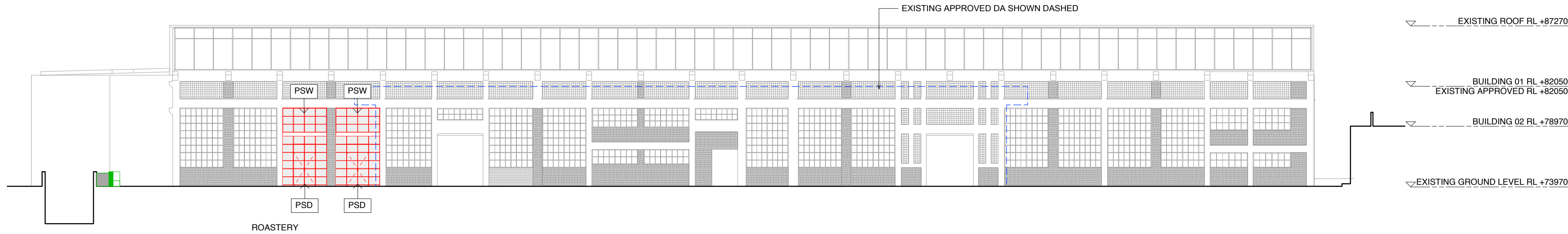




1 ELEVATION



2 ELEVATION



3 ELEVATION

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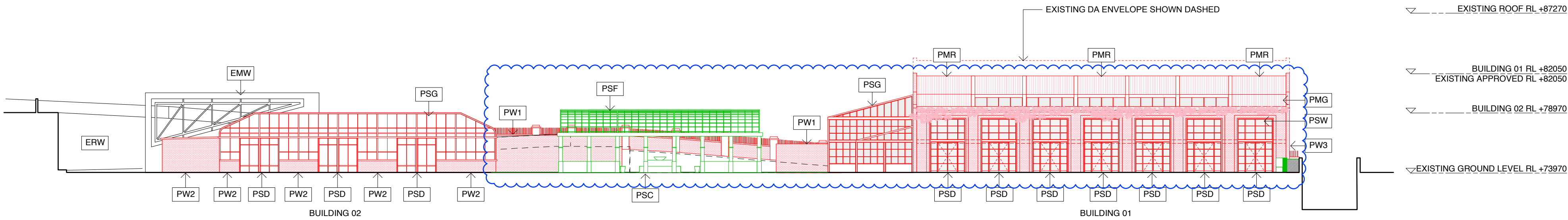
PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : OVERALL ELEVATIONS**

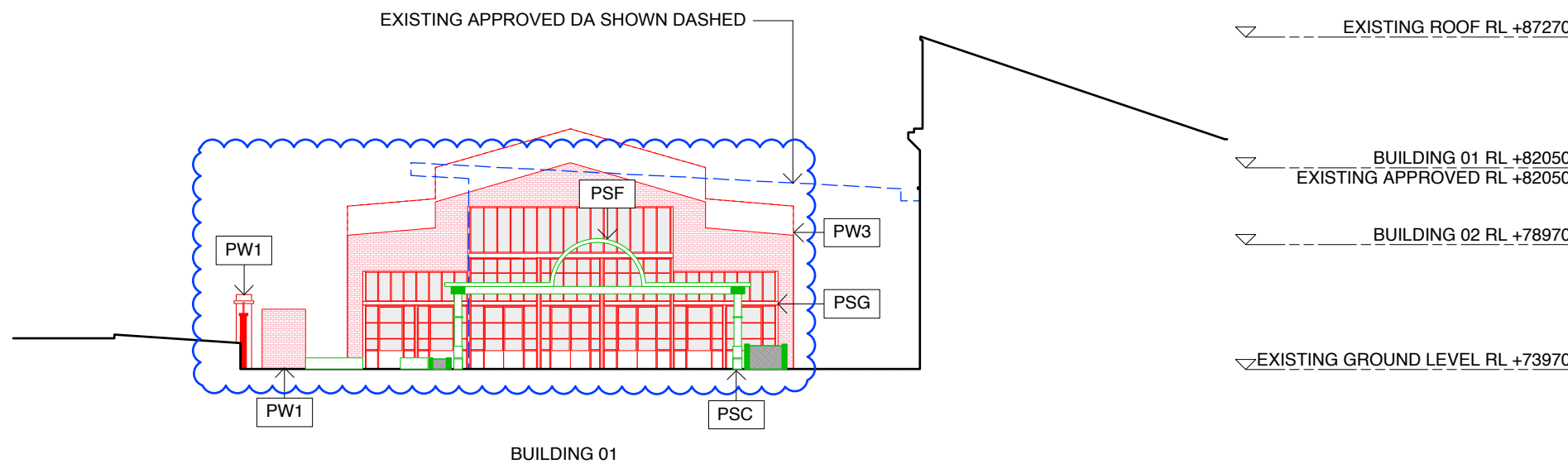
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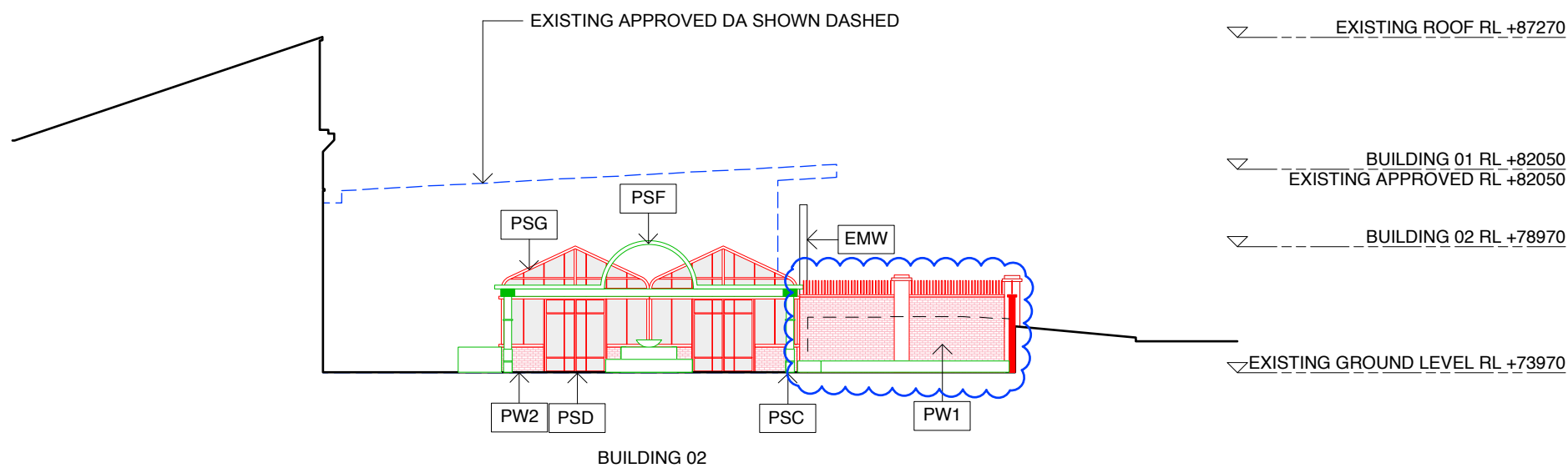




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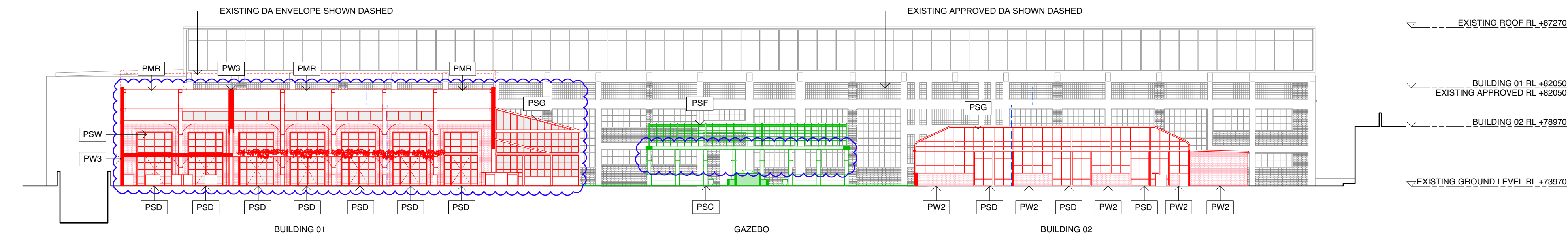
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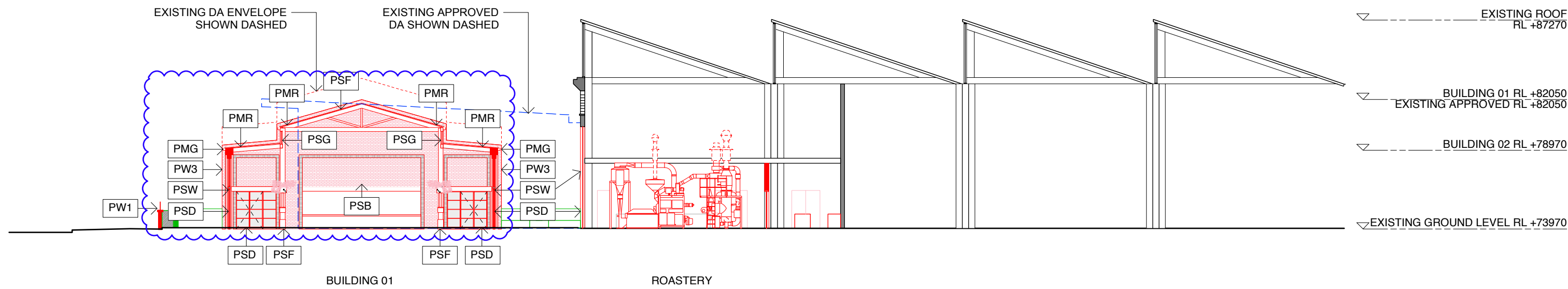
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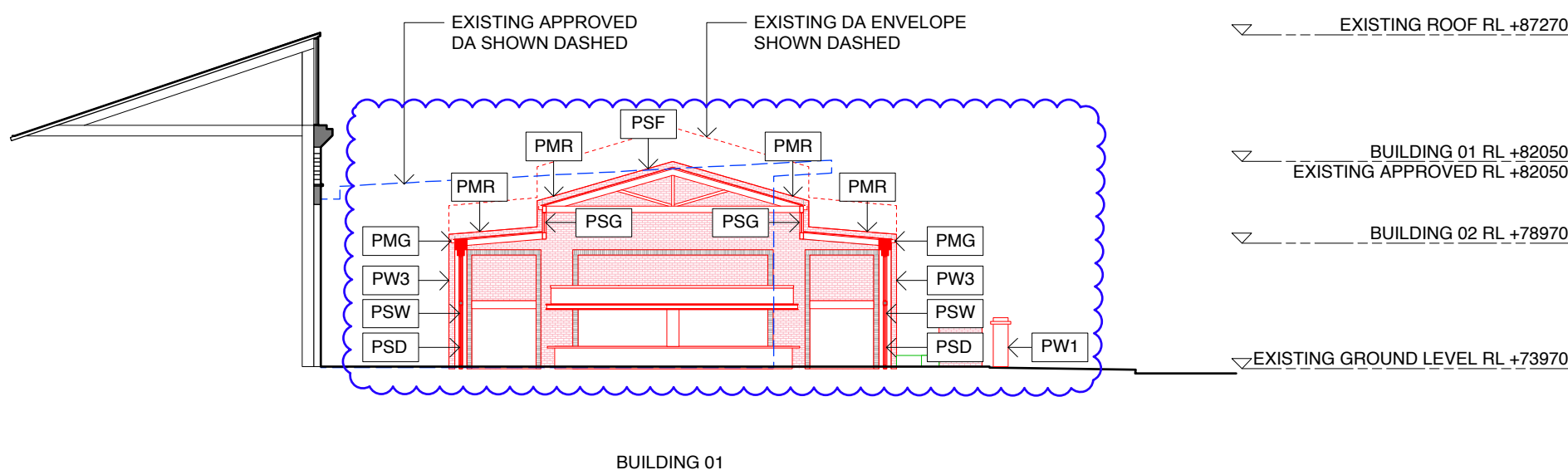
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<b>A.05.02</b>	<b>G</b>



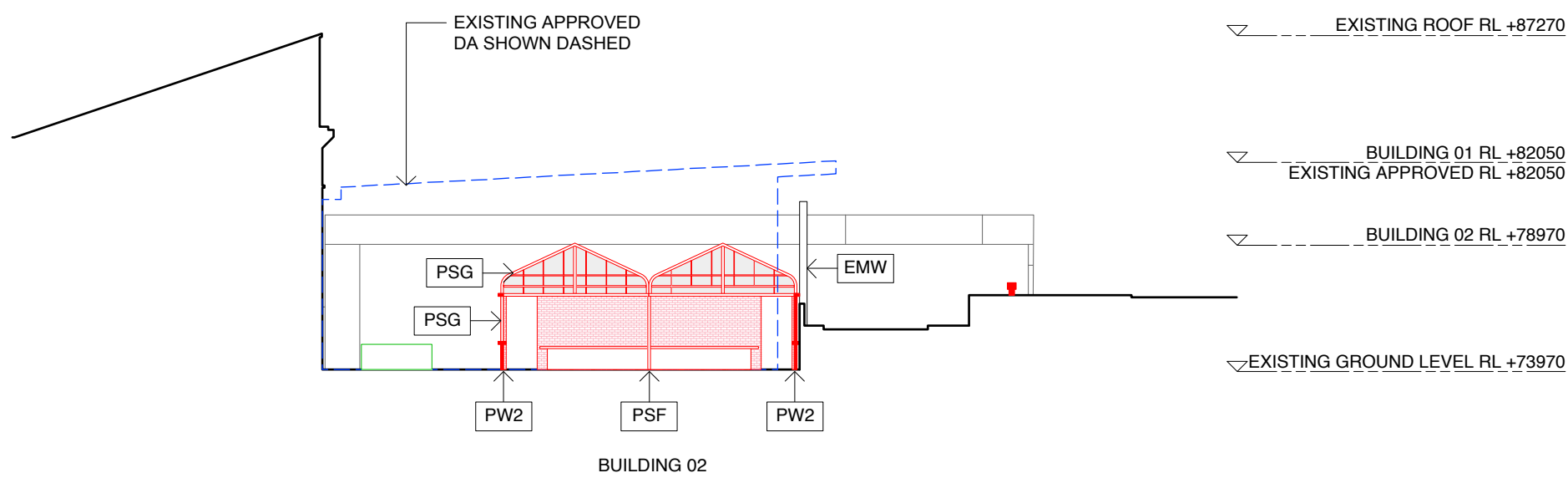
1 SECTION



2 SECTION



3 SECTION



4 SECTION

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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : OVERALL SECTIONS**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

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<b>A.06.01</b>	<b>G</b>



STEEL FRAMEWORK



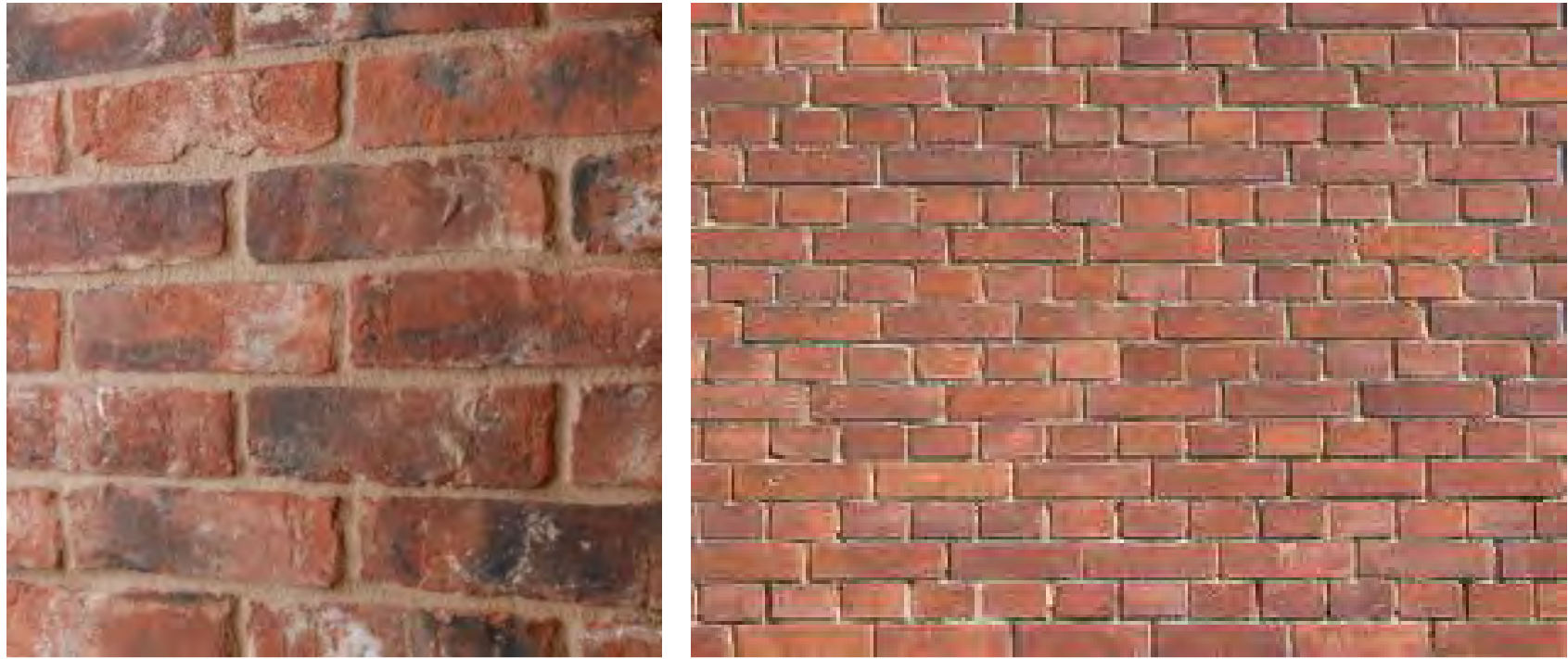
STEEL WINDOWS AND DOORS



GREEN HOUSE & CAFE CONSERVATORY



RECYCLED BRICK WALLS



STEEL FRAMEWORK & STONE COLUMNS TO GAZEBO



TUMBLED MARBLE



RECYCLED BRICK PAVERS



TERRACOTTA PAVERS



FEATURE TILES

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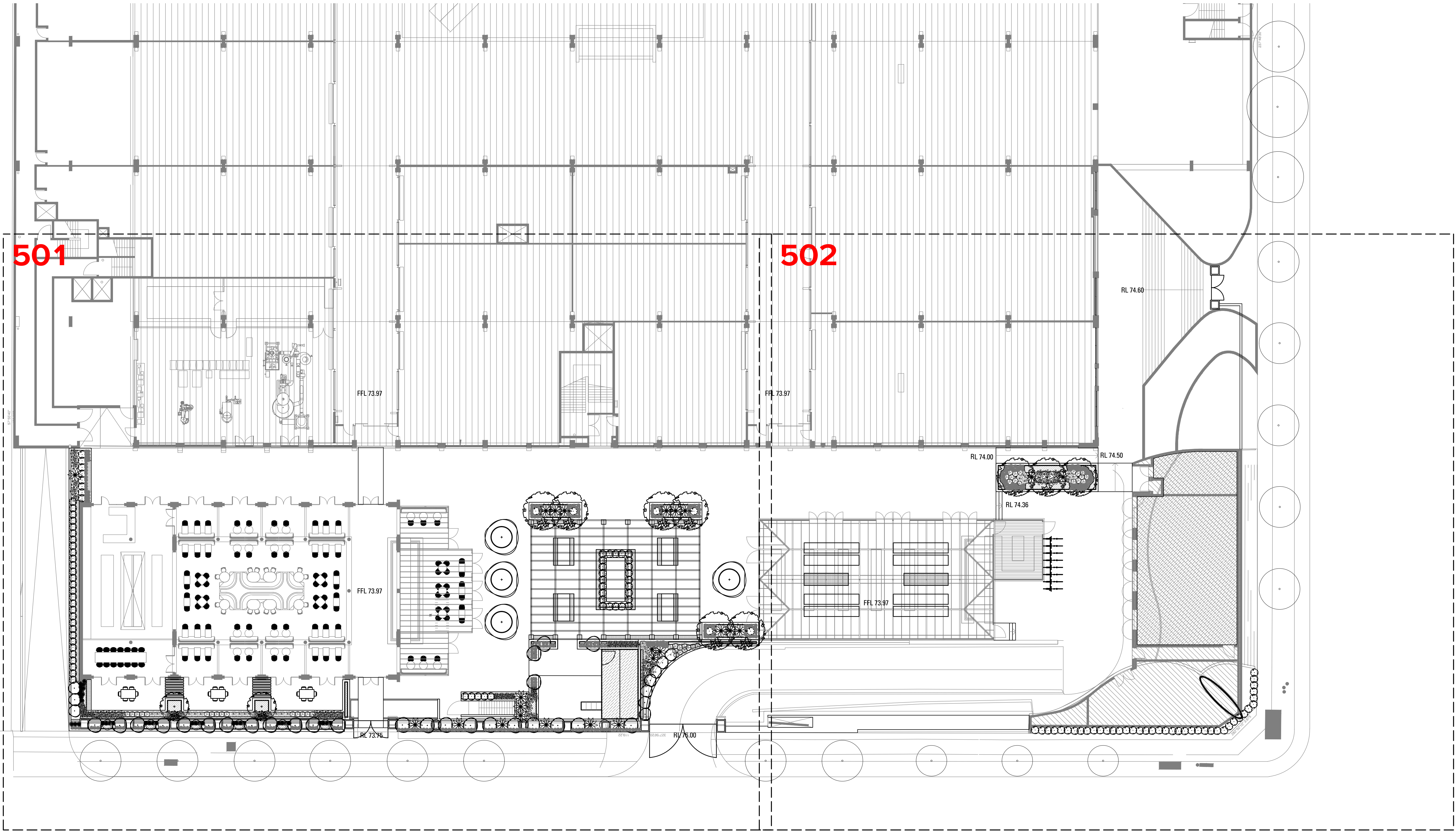
PROJECT  
ARTARMON HOME HQ  
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DRAWING  
EXTERNAL MATERIAL SELECTION

PROJECT NO.	DATE	SCALE
06:13	23.11.2016	NTS

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A.07.01	A



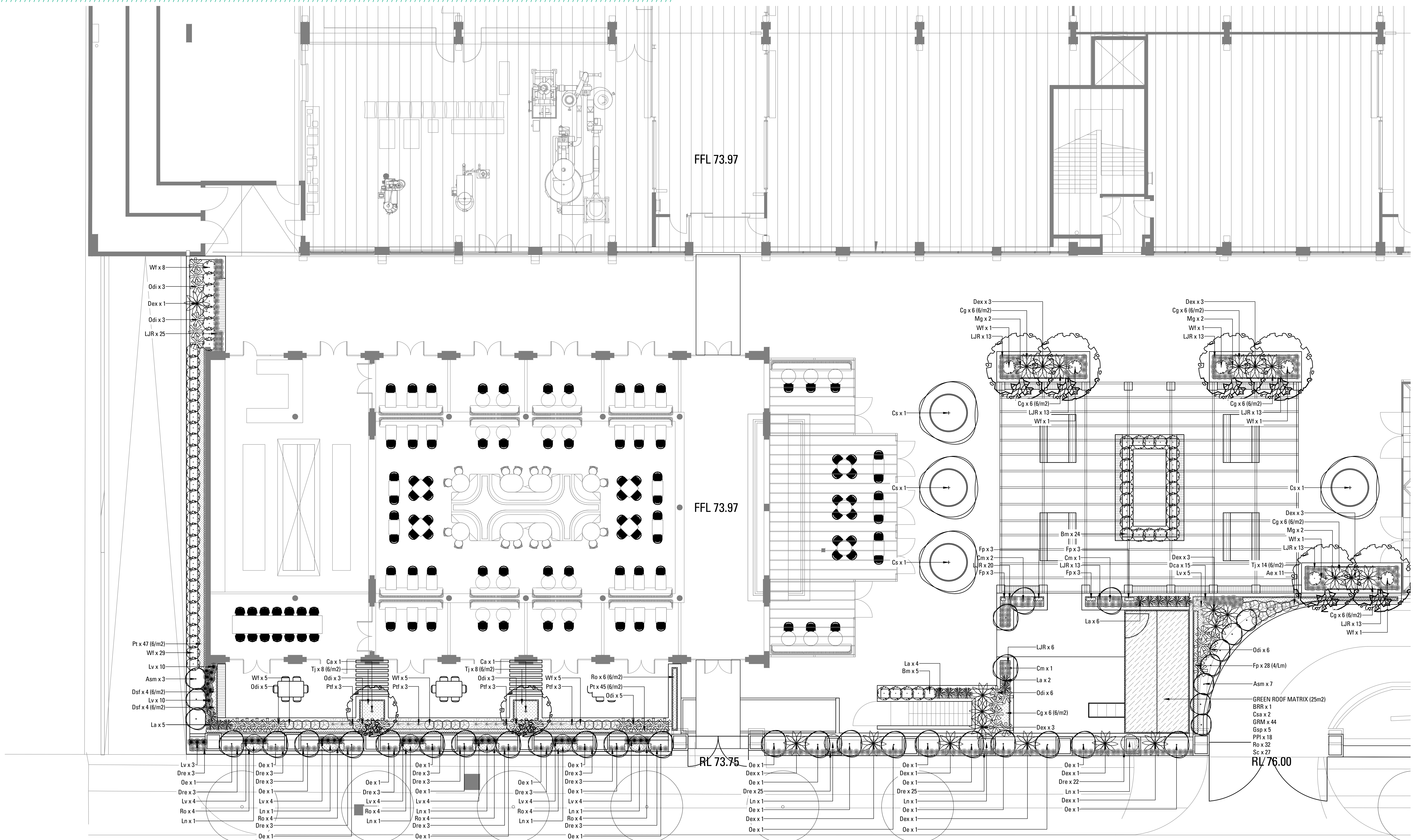


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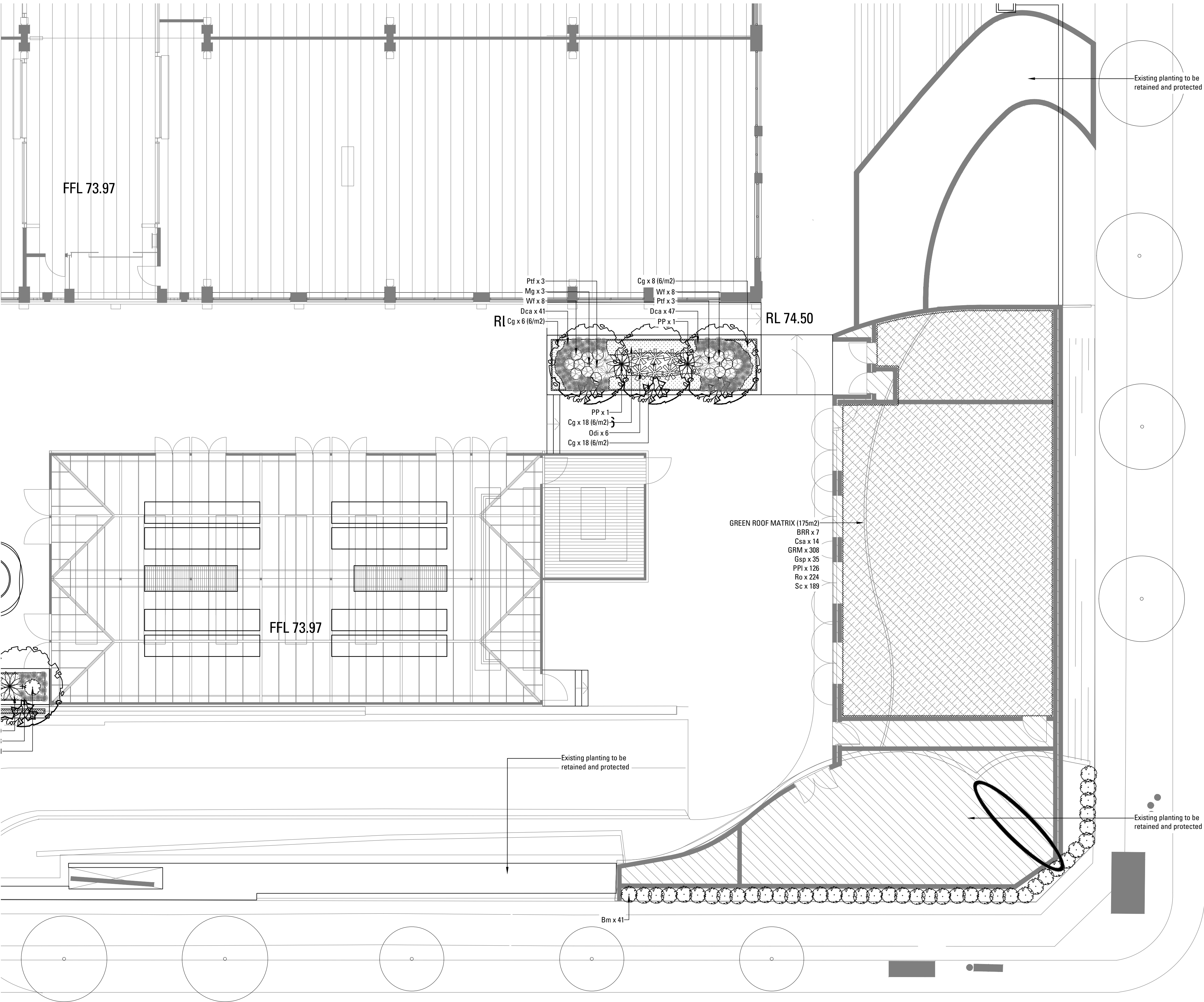
- PROPOSED TREE PLANTING
- PROPOSED SHRUB AND ACCENT PLANTING
- PROPOSED MATRIX PLANTING
- PROPOSED GROUNDCOVER PLANTING



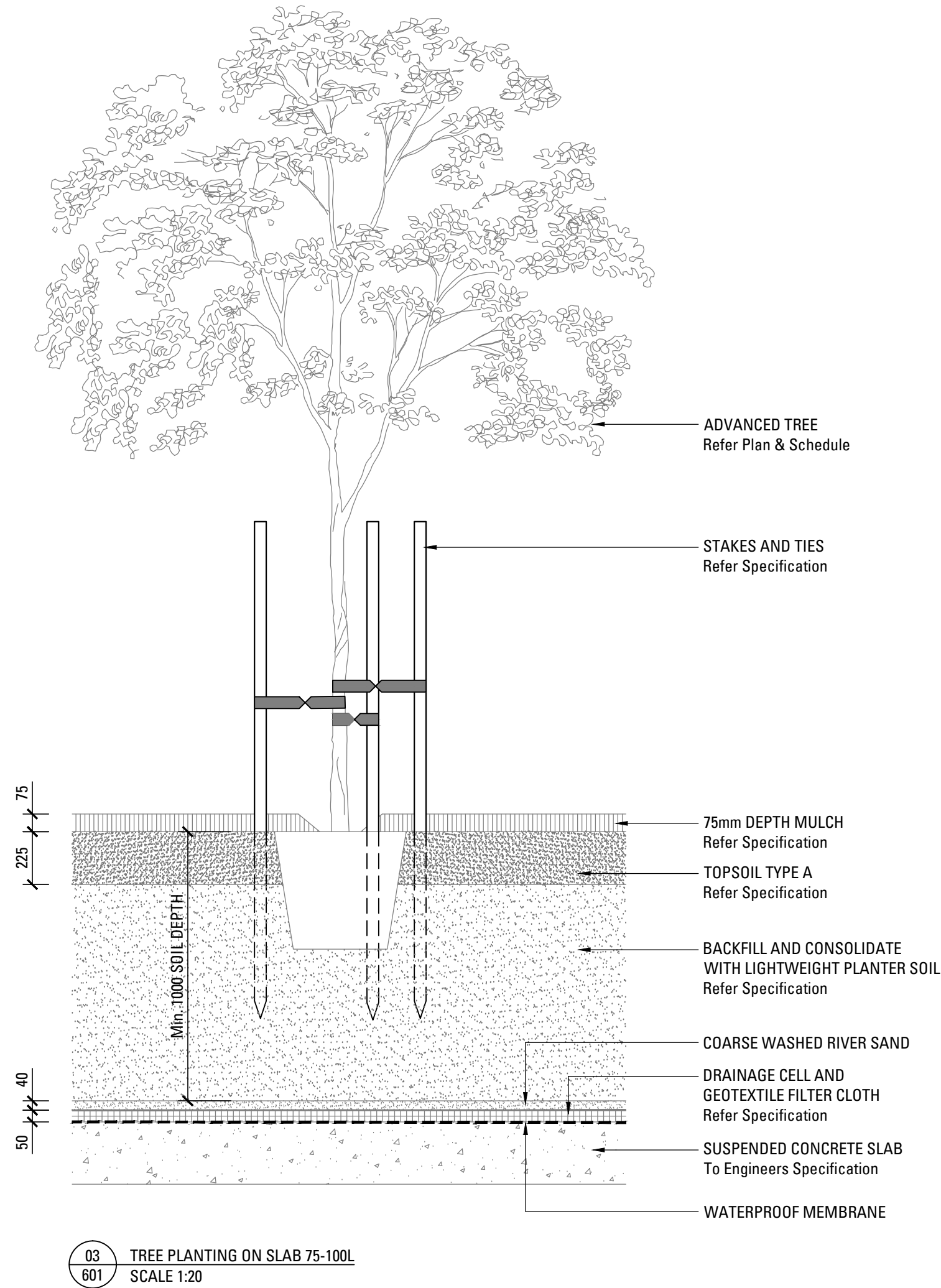
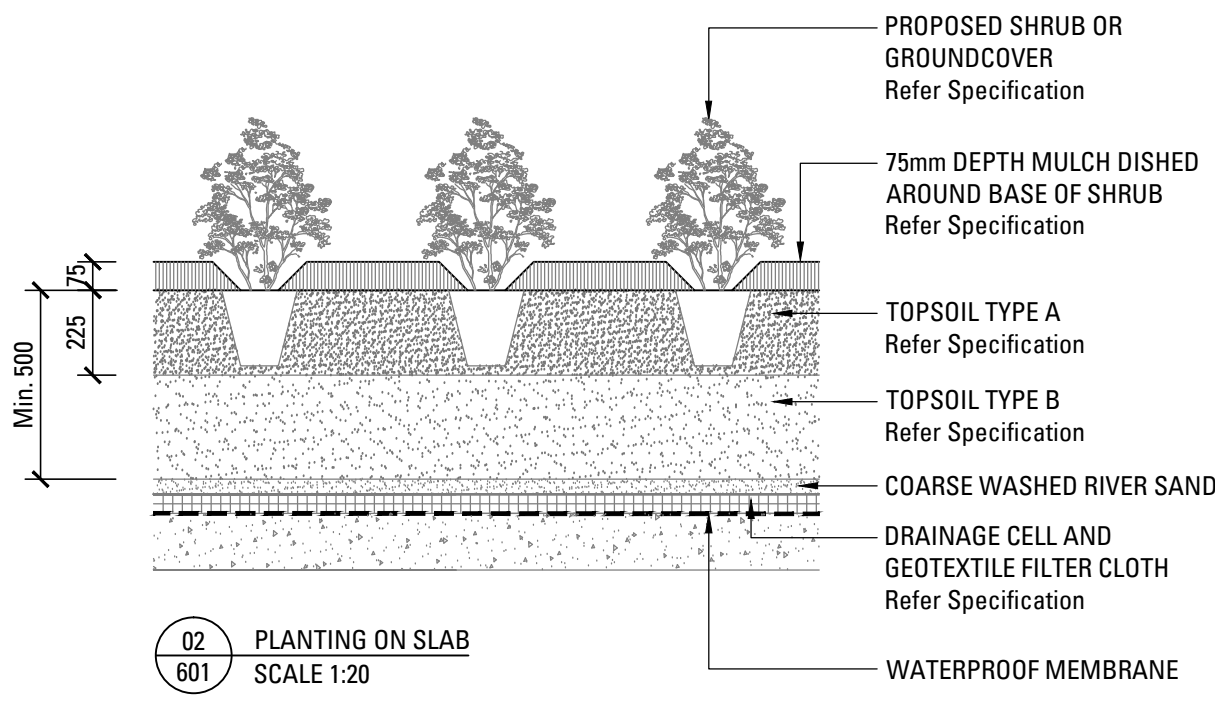
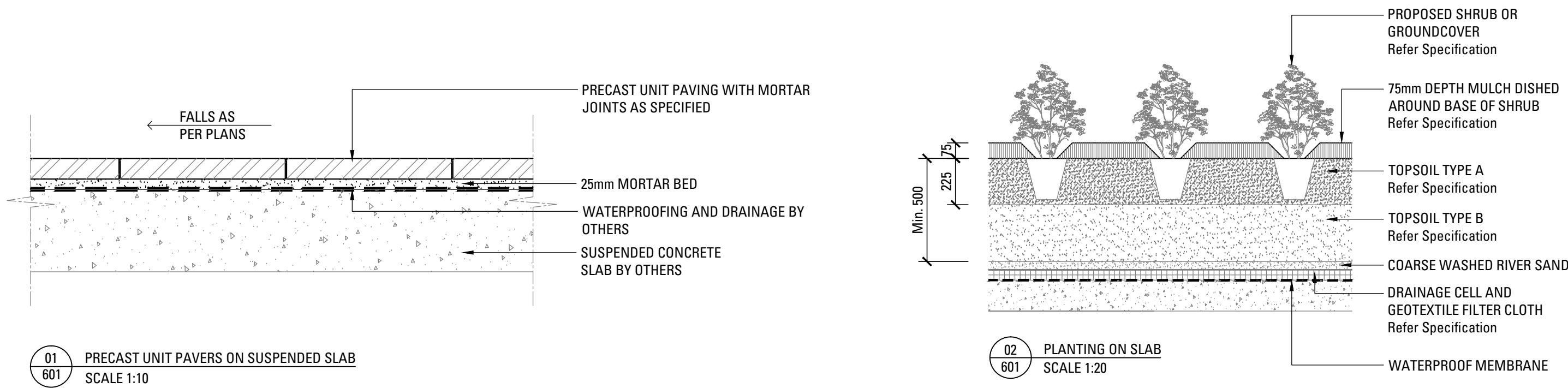












LANDSCAPE SPECIFICATION NOTES

**SERVICES**  
BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICE LINES AND ENSURE TREE PLANTING IS CARRIED OUT AT LEAST 3 METRES AWAY FROM THESE SERVICES. SERVICE LINES, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOT COVERED BY ANY LANDSCAPE FINISHES (TYPING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH PIT LIDS.

**ABSORBENT MANAGEMENT OF TREE PROTECTION**  
A QUALIFIED AND APPROVED ARBORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING AND TO UNDERTAKE SUCH MEASURES AS HE DEEMS APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

**DRAINAGE CELL AND FILTER FABRIC**  
FOR ON-SLAB AREAS INSTALL AN APPROVED DRAINAGE CELL PRODUCT TO COMPREHENSIVELY COVER THE BOTTOM OF ALL PLANTERS. OVER DRAINAGE CELL TO ON-SLAB AREAS, A POLYETHYLENE GUTTERLINE LINING AS SUPPLIED BY 'POLYETHYLENE' OR APPROVED EQUIVALENT IS TO BE INSTALLED TO COVER THE BOTTOM OF ALL PLANTERS, TURNED UP 200MM AND TAPED TO THE PLANTER SIDES TO ENSURE SOIL MIX DOES NOT ESCAPE INTO DRAINAGE OUTLETS/POLES. INSTALL MIN. 300MM COARSE RIVER SAND OVER ALL GEOTEXTILE LINING PRIOR TO INSTALLATION OF SOIL MIX.

**PLANTING MIXTURE**  
SHALL BE HOMOGENEOUS BLEND OF SOIL AND ADDITIVES IN THE FOLLOWING PROPORTIONS:  
EXISTING SITE SOIL IF SATISFACTORIAL 50%  
COMPOST 20%  
DRIED SAND 30%  
SOIL TESTING OF EXISTING SITE SOIL IS TO BE UNDERTAKEN TO ASSESS SUITABILITY OF USE AS PLANTING TOPSOIL AND COMPLIANCE WITH AUSTRALIAN STANDARDS.

**MULCH APPLICATION**  
PLACE MULCH TO THE REQUIRED DEPTH (REFER TO DRAWINGS); CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 20MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

**MULCH TYPE**  
PINE BARK FROM MATURE TREES, GRADED IN SIZE FROM 15MM TO 30MM, FREE FROM WOOD SLIVERS, DARK BROWN IN COLOUR AND TEXTURE.

**COMPOST**  
SHALL BE WELL NOTED VEGETATIVE MATERIAL OR ANIMAL MANURE, OR OTHER APPROVED MATERIAL, FREE FROM HARMFUL CHEMICALS, GRASS AND WEED GROWTH AND WITH NEUTRAL PH. PROVIDE A CERTIFICATE OF PROOF OF PH UPON REQUEST.

**PLANT MATERIAL**  
ALL PLANTS SUPPLIED ARE TO CONFORM WITH THOSE SPECIES LISTED IN THE PLANT SCHEDULE ON THE DRAWINGS. GENERALLY PLANTS SHALL BE VIGOROUS, WELL ESTABLISHED, HARDENED OFF, OF GOOD FORM CONSISTENT WITH SPECIES OR VARIETY, NOT SOFT OR FORCED, FREE FROM DISEASE OR INSECT PESTS WITH LARGE HEALTHY ROOT SYSTEMS AND NO EVIDENCE OF HAVING BEEN RESTRICTED OR DAMAGED. TREES SHALL HAVE A LEADING SHOOT. IMMEDIATELY REJECT DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING. ALL STOCK IS TO BE CONTAINER GROWN FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO SITE.

**FERTILISER MASS PLANTING AREAS**  
FERTILISER SHALL BE 'NUTRICITY' OR APPROVED EQUIVALENT IN GRANULE FORM INTENDED FOR SLOW RELEASE OF PLANT NUTRIENTS OVER A PERIOD OF APPROXIMATELY NINE MONTHS. THOROUGHLY MIX FERTILISER WITH PLANTING MIXTURE AT THE RECOMMENDED RATE, PRIOR TO INSTALLING PLANTS.

**STAKING AND TYING**  
STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO SIZE OF PLANTS TO BE STAKED.  
A 4-5 LITRE SIZE PLANT (X100X200X200MM)  
B 20-70 LITRE SIZE PLANT (2X100X200X200MM)  
C 100 GREATER THAN 200LITRE (3X100X200X200MM)  
TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

**IRRIGATION SYSTEM**  
SUPPLY AN AUTOMATIC WATERING SYSTEM USING 'TODD' IRRIGATION SYSTEM OR SIMILAR APPROVED, WITH MICRO-JET SPRINKLER HEADS AND LOW VOLUME, HIGH PRESSURE POLYPROPYLENE RETICULATION, TO INCLUDE FILTERS, BENDS, JOINTINGS, ENDS AND OTHER ANCILLARY EQUIPMENT. THE LANDSCAPER SHALL NOMINATE HIS SOURCE OF SUPPLY FOR THE WATERING SYSTEM AND OBTAIN APPROVAL FROM THE SUPERINTENDENT BEFORE PLACING ORDERS FOR EQUIPMENT OR SUPPLY.

A SCHEMATIC PLAN OF THE PROPOSED IRRIGATION SYSTEM IS TO BE PREPARED BY THE CONTRACTOR, SHOWING SOLENOIDS, PIPE DIAMETERS, AND ALL NOZZLES AND TROUSL ATTACHMENT TYPES INCLUDING SPACING/HEAD ANGLE FOR REVIEW BY THE SUPERINTENDENT PRIOR TO INSTALLATION.

THE CONTRACTOR IS TO LIAISE WITH THE HYDRAULIC ENGINEER AND COUNCIL AS NECESSARY, TO ENSURE THE IRRIGATION SYSTEM CONFORMS WITH ALL THE COUNCIL AND WATER BOARD CODES AND REQUIREMENTS.

PROVIDE AN AUTOMATIC CONTROLLER THAT PROVIDES FOR TWO WEEK SCHEDULING AND HOURLY MULTI-CYCLE OPERATION. THE CONTROLLER SHALL MANUAL OVERRIDE. PROGRAMMING SHALL BE UNDERTAKEN BY THE CONTRACTOR WHO SHALL ADVISE ON THE OPERATION OF THE SYSTEM.

PROVISION OF SECURE HOUSING FOR THE AUTOMATIC IRRIGATION CONTROLLER TO BE LOCATED IN ASSOCIATION WITH THE LANDSCAPE CONTRACTOR AND LOCATION CONFIRMED BY THE SUPERINTENDENT. WIRING TO CONNECT REMOTE SOLENOID LOCATIONS IS TO BE PROVIDED. THE CONTROLLER SHALL BE LOCATED IN A DRY PLACE, PROTECTED FROM THE WEATHER, AND ALL CABLE CONNECTIONS SHALL BE MADE WITH WATERPROOF CONNECTORS.

WATER SUPPLY POINTS TO BE SUPPLIED BY BUILDER.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE AND GUARANTEE SATISFACTORY OPERATION OF THE IRRIGATION SYSTEM.

AFTER THE SYSTEM HAS BEEN INSTALLED TO THE SATISFACTION OF THE SUPERINTENDENT, THE INSTALLATION SHALL BE TESTED UNDER KNOWN WORKING CONDITIONS. ACCEPTANCE OF THE INSTALLED PLANT AND EQUIPMENT SHALL BE SUBJECT TO THESE BEING SATISFACTORY.

**TREATED PINE TIMBER STAKES**  
TREATED PINE TIMBER STAKES: 10 X 50 X 900MM CCA TREATED RADIATA PINE, SHARPENED AT ONE END. INSTALL IN LOCATIONS SHOWN ON THE DRAWINGS FLUSH TO FINISHED SURFACE LEVELS.

**LANDSCAPE MAINTENANCE PROGRAM**  
MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECAPITULATING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO: WATERING, MOWING, FERTILISING, RESEEDING, RETURNING, WEEDING, PEST AND DISEASE CONTROL, STAKING AND TYING, REPLANTING, CULTIVATING, PRUNING, AERATING, RENOVATING, TOP DRESSING, MAINTAINING THE SITE IN A NEAT AND TIDY CONDITION AS FOLLOWS:-

**GENERAL**  
THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE WORKS FOR THE TERM OF THE MAINTENANCE OR PLANT ESTABLISHMENT PERIOD TO THE SATISFACTION OF THE COUNCIL. THE LANDSCAPE CONTRACTOR SHALL ATTEND TO THE SITE ON A WEEKLY BASIS. THE MAINTENANCE PERIOD SHALL COMMENCE AT PRACTICAL COMPLETION AND CONTINUE FOR A PERIOD OF TWENTY SIX (26) WEEKS.

**WATERING**  
GRASS, TREES AND GARDEN AREAS SHALL BE WATERED REGULARLY SO AS TO ENSURE CONTINUOUS HEALTHY GROWTH.

**RUBBISH REMOVAL**  
DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE CONTRACTOR SHALL REMOVE RUBBISH THAT MAY OCCUR AND REOCCUR THROUGHOUT THE MAINTENANCE PERIOD. THIS WORK SHALL BE CARRIED OUT REGULARLY SO THAT AT WEEKLY INTERVALS THE AREA MAY BE OBSERVED IN A COMPLETELY CLEAN AND TIDY CONDITION.

**REPLACEMENTS**  
THE LANDSCAPE CONTRACTOR SHALL REPLACE ALL PLANTS THAT ARE MISSING, UNHEALTHY OR DEAD AT THE LANDSCAPE CONTRACTOR'S COST. REPLACEMENTS SHALL BE OF THE SAME SIZE, QUALITY AND SPECIES AS THE PLANT THAT HAS FAILED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. REPLACEMENTS SHALL BE MADE ON A CONTINUING BASIS NOT EXCEEDING TWO (2) WEEKS AFTER THE PLANT HAS DIED OR IS SEEN TO BE MISSING.

**STAKES AND TIES**  
THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. REMOVE STAKES AND TIES AT THE END OF THE MAINTENANCE PERIOD IF SO DIRECTED.

**PRUNING**  
TREES AND SHRUBS SHALL BE PRUNED AS DIRECTED BY THE LANDSCAPE ARCHITECT. PRUNING WILL BE DIRECTED AT THE MAINTENANCE OF THE DENSE FOLIAGE OR MISCELLANEOUS PRUNING AND BENEFICIAL TO THE CONDITION OF THE PLANTS. ANY DAMAGED GROWTH SHALL BE PRUNED. ALL PRUNED MATERIAL SHALL BE REMOVED FROM THE SITE.

**MULCHED SURFACES**  
ALL MULCHED SURFACES SHALL BE MAINTAINED IN A CLEAN AND TIDY CONDITION AND BE REINSTATED IF NECESSARY TO ENSURE THAT A DEPTH OF 75MM IS MAINTAINED. ENSURE MULCH IS KEPT CLEAR OF PLANT STEMS AT ALL TIMES.

**PEST AND DISEASE CONTROL**  
THE LANDSCAPE CONTRACTOR SHALL SPRAY AGAINST INSECT AND FUNGUS INFESTATION WITH ALL SPRAYING TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. REPORT ALL INSTANCES OF PESTS AND DISEASES IMMEDIATELY THAT THEY ARE DETECTED TO THE LANDSCAPE ARCHITECT.

**WEED ERADICATION**  
ERADICATE WEEDS BY ENVIRONMENTALLY ACCEPTABLE METHODS USING A NON-RESIDUAL GLYPHOSATE HERBICIDE (E.G. 'ROUNDUP') IN ANY OF ITS REGISTERED FORMULAE, AT THE RECOMMENDED MAXIMUM RATE. REGULARLY REMOVE BY HAND, WEED GROWTH THAT MAY OCCUR OR REOCCUR THROUGHOUT GRASSES, PLANTED AND MULCHED AREAS. REMOVE WEED GROWTH FROM AN AREA 750MM DIAMETER AROUND THE BASE OF TREES IN GRASSES AREAS. CONTINUE ERADICATION THROUGHOUT THE COURSE OF THE WORKS AND DURING THE MAINTENANCE PERIOD.

**SOIL SUBSISTENCE**  
ANY SOIL SUBSISTENCE OR FROSION WHICH MAY OCCUR AFTER THE SOIL FILLING AND PREPARATION OPERATIONS SHALL BE MADE GOOD BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE CLIENT.





STEEL FRAMEWORK & BRICKWORK TO BUILDING ONE



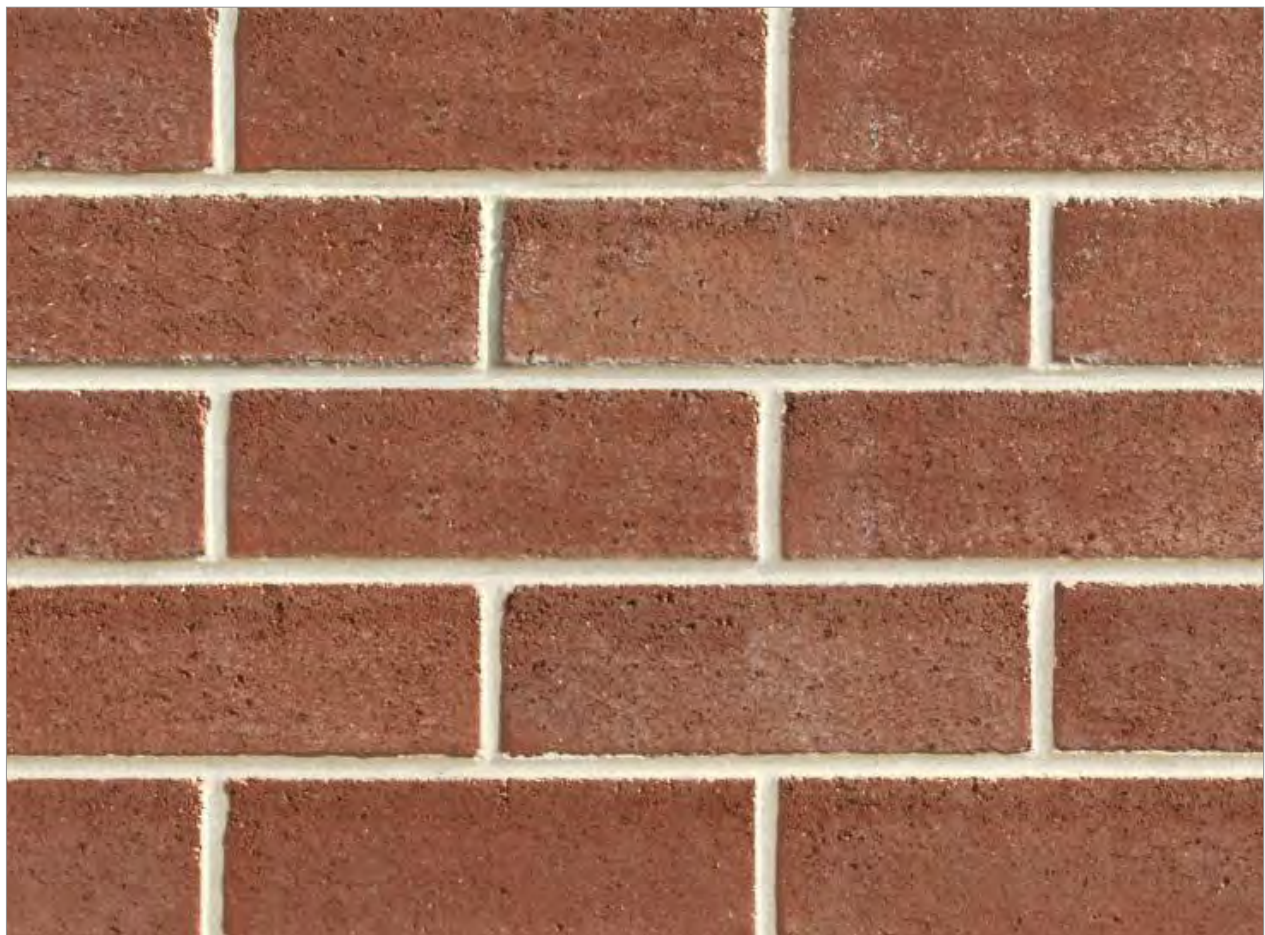
STEEL FRAMEWORK & GLAZING TO CAFE CONSERVATORY



BRICK & TIMBER STRUCTURE TO GAZEBO



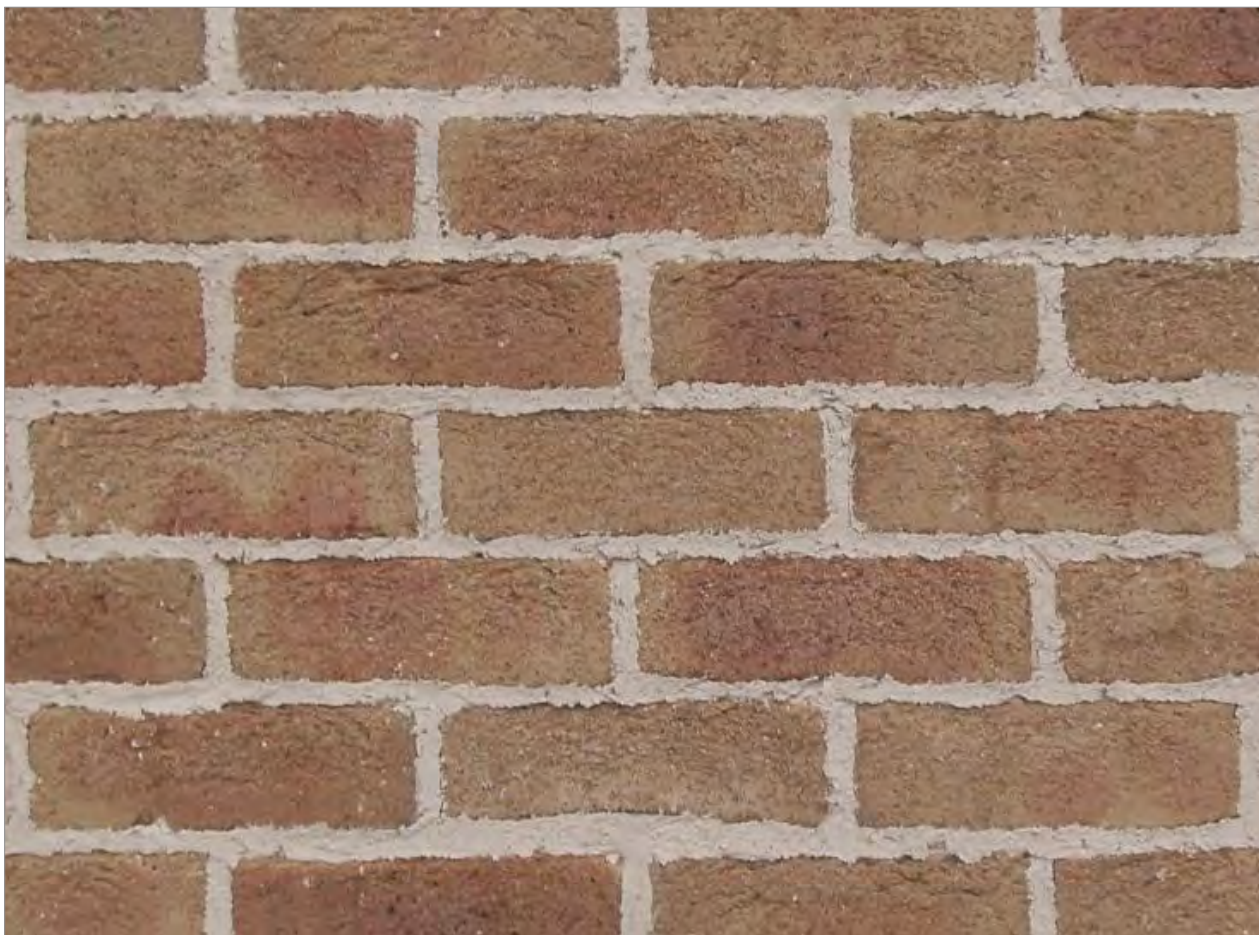
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**PW1 & PW3**  
BRICK TO FRONT FENCE & BUILDING ONE:  
PGH BRICKS, MCGARVIE RED  
[HTTP://WWW.PGHBRICKS.COM.AU/PRODUCTS/BRICKS/MCGARVIE-RED](http://www.pghbricks.com.au/products/bricks/mcgarvie-red)



**PMR & PMG**  
DOUBLE SEAMED ZINC ROOF TO BUILDING ONE  
FINISH: RHEINZINK, PATINA LINE, BLUE GREY ZINC  
[HTTPS://WWW.RHEINZINK.COM/EN/PRODUCTS/ROOF-SYSTEMS/ROOF-COVERING-SYSTEMS/DOUBLE-STANDING-SEAM/](https://www.rheinzink.com/en/products/roof-systems/roof-covering-systems/double-standing-seam/)



**PW2 & PSC**  
BRICK TO GAZEBO & BUILDING TWO:  
PGH BRICKS, CREMORNE  
[HTTP://WWW.PGHBRICKS.COM.AU/PRODUCTS/BRICKS/CREMORNE](http://www.pghbricks.com.au/products/bricks/cremorne)



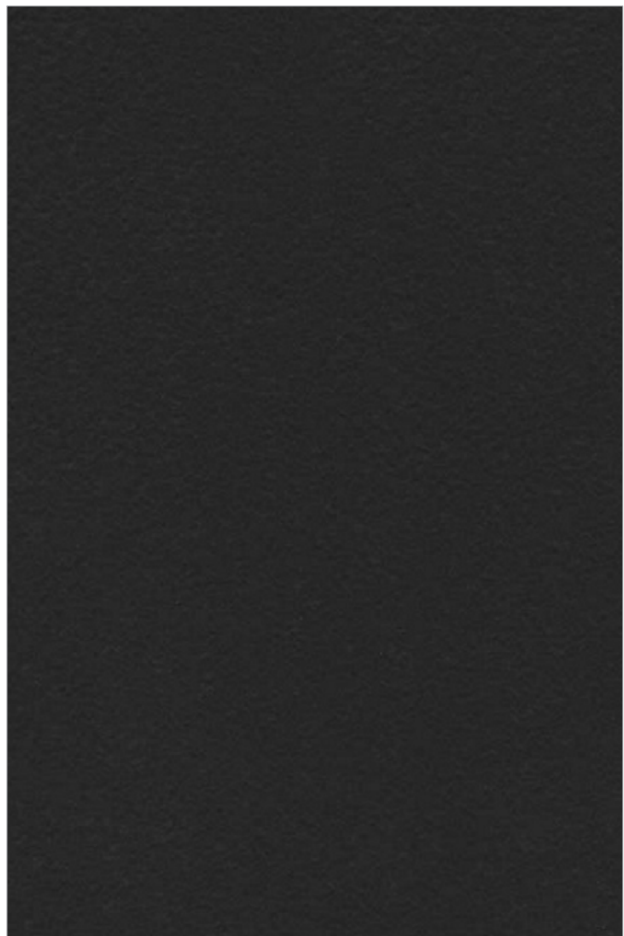
**PSD, PSF, PSG & PSW**  
STEEL FRAMEWORK TO BUILDING TWO  
FINISH: DULUX HIGH TEA GREEN S25B7



**PTD**  
TIMBER DOOR TO BUILDING TWO  
FINISH: DULUX HIGH TEA GREEN S25B7



**PSD, PSF, PSG & PSW**  
STEEL FRAMEWORK TO BUILDING ONE & CONSERVATORY  
FINISH: DULUX MANNEX BLACK 90132679



**PTB**  
TIMBER FLOOR TO BUILDING ONE



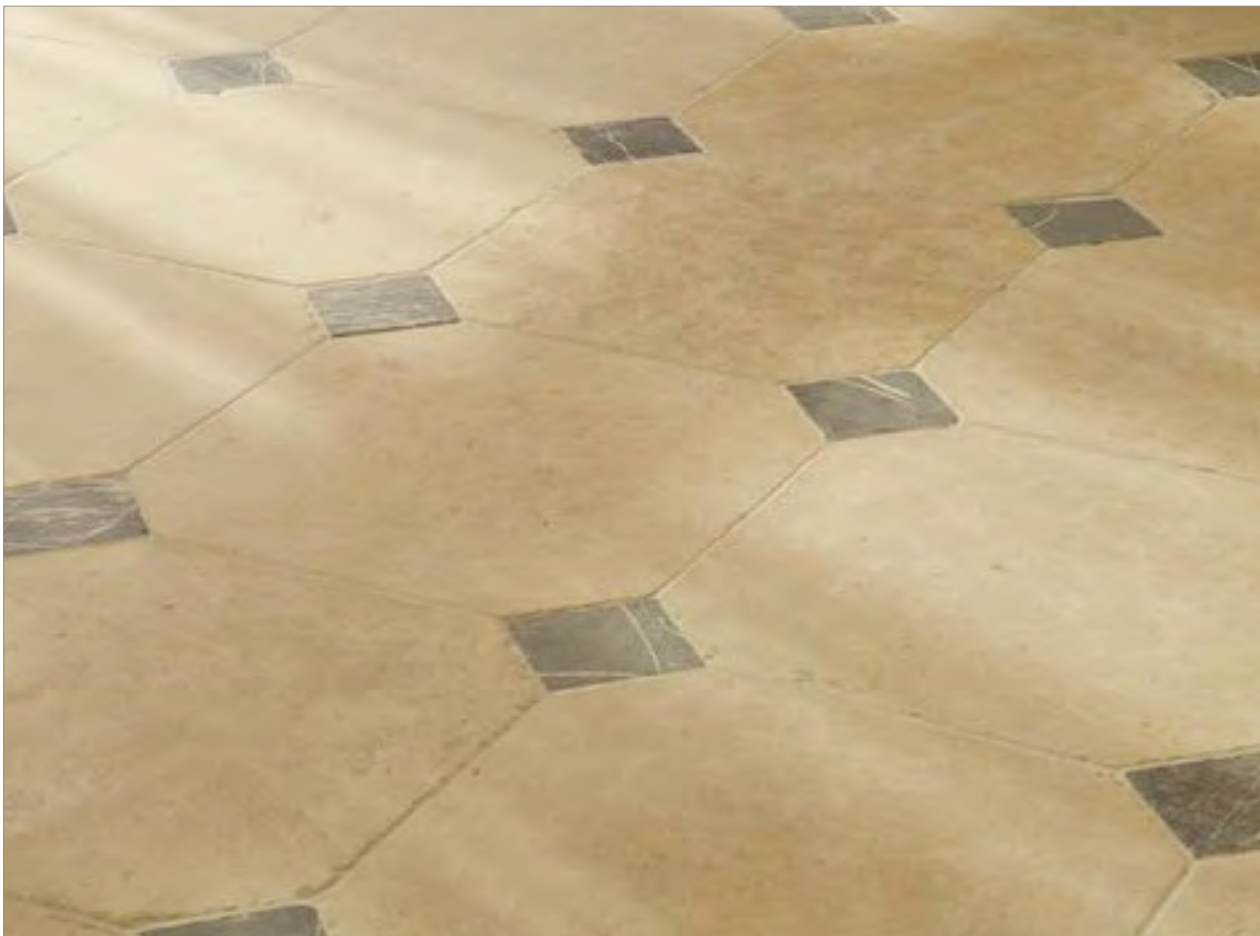
**PPC**  
POLISHED CONCRETE FLOOR TO ROASTERY



**PP1**  
PAVING TYPE 01 TO GAZEBO



**PP2**  
PAVING TYPE 02 TO GAZEBO



**PTF**  
TILE FLOOR TO BUILDING TWO

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LEGEND

ISSUE FOR DA APPLICATION

C	30.05.17	ISSUE FOR DA APPLICATION
B	26.05.17	ISSUE FOR DA APPLICATION
A	25.12.16	ISSUE FOR DA APPLICATION
REV	DATE	DESCRIPTION

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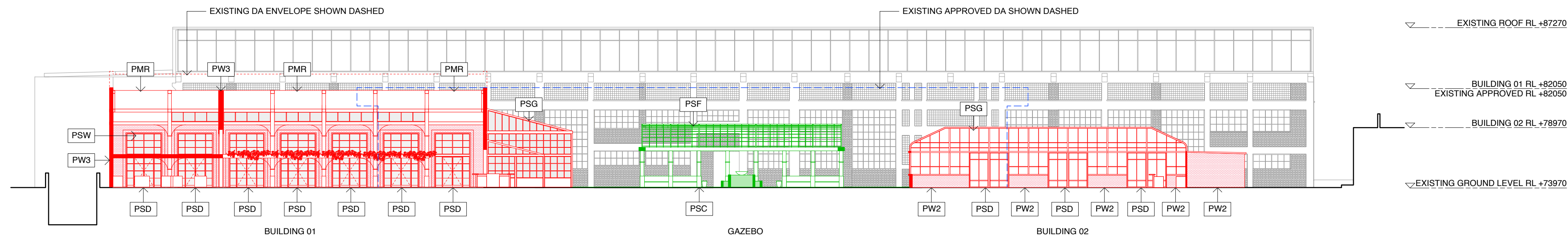
PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**EXTERNAL MATERIAL SELECTION**

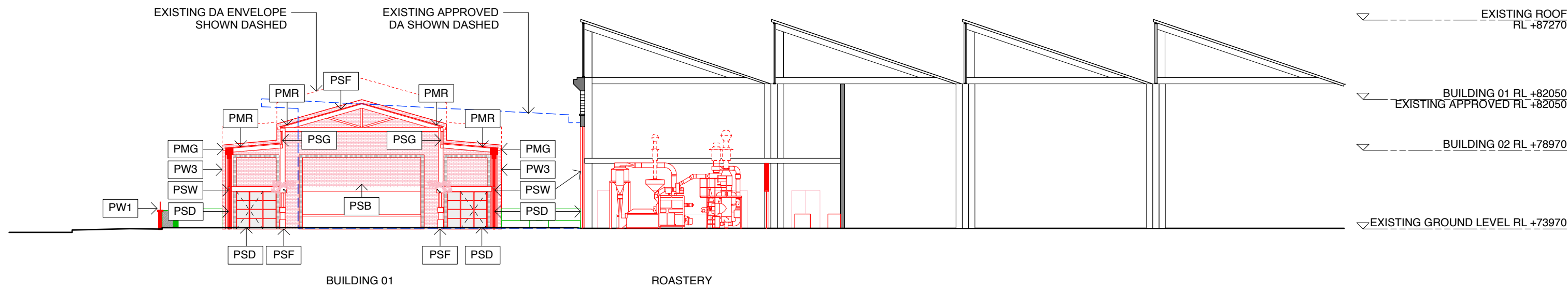
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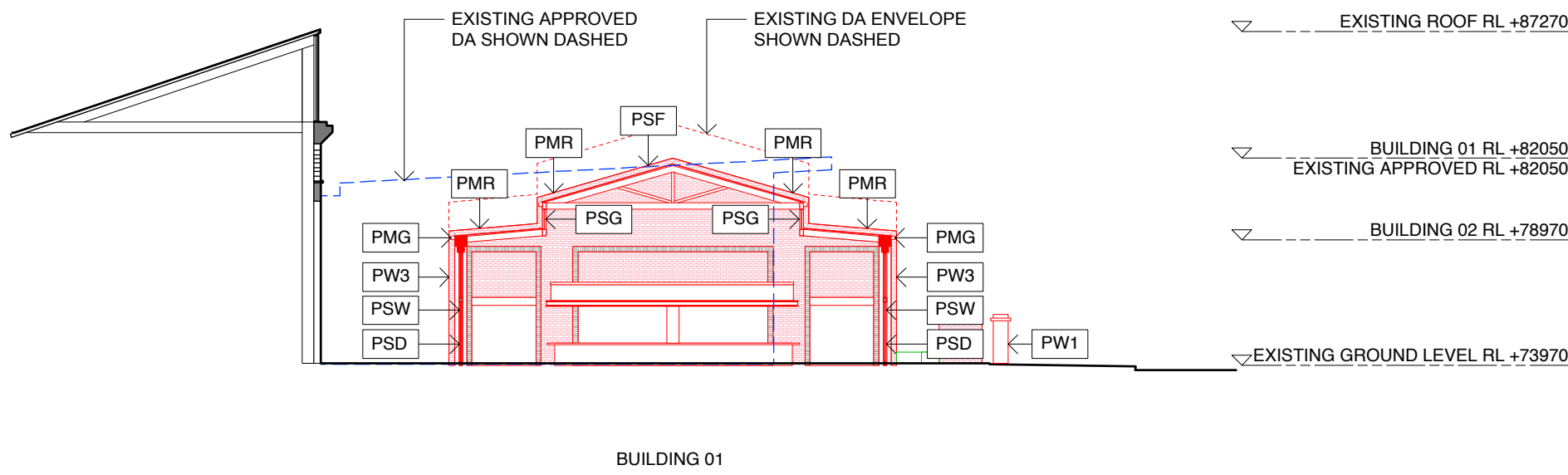




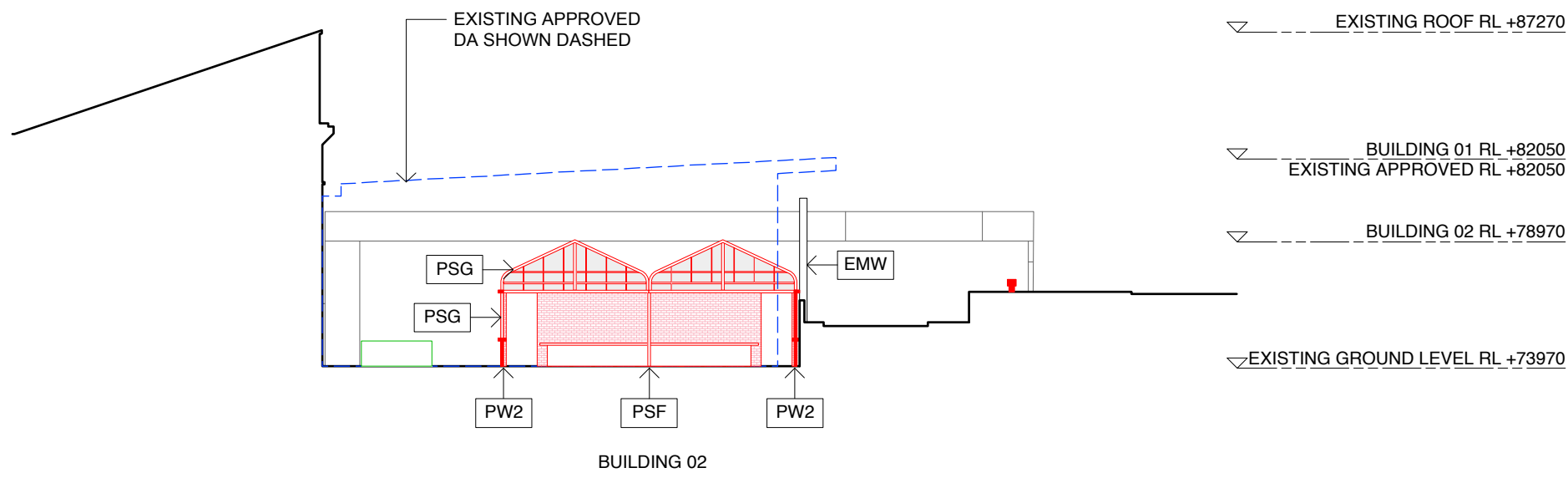
1 SECTION



2 SECTION



3 SECTION



4 SECTION

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## LEGEND

NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR

RED PROPOSED WORKS  
GREEN PROPOSED LANDSCAPING

EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONARY WALL
PS	PROPOSED CONCRETE FIRE STAIR
PLP	PROPOSED LIGHTWEIGHT PARTITION
PW1	PROPOSED MASONARY BRICK WALL - TYPE 1
PW2	PROPOSED MASONARY BRICK WALL - TYPE 2
PW3	PROPOSED MASONARY BRICK WALL - TYPE 3
PMW	PROPOSED MASONARY WALL TO MATCH EXISTING
PME	PROPOSED MECHANICAL EXHAUST
PMG	PROPOSED METAL GUTTER
PMR	PROPOSED METAL ROOF SHEET
PP1	PROPOSED PAVING - TYPE 1
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PSC	PROPOSED BRICK COLUMN
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PSF	PROPOSED STEEL FRAME
PSG	PROPOSED STEEL FRAMED GLAZING
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PTF	PROPOSED TILED FLOOR

## ISSUE FOR DA APPLICATION

H	30.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
G	02.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
F	17.03.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
E	01.03.17	ISSUE FOR DA APPLICATION
D	15.12.16	ISSUE FOR DA APPLICATION
C	01.12.16	ISSUE FOR CO-ORDINATION
B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

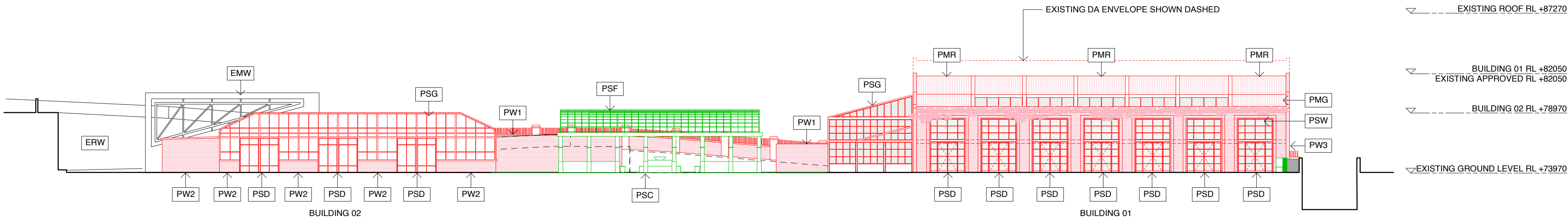
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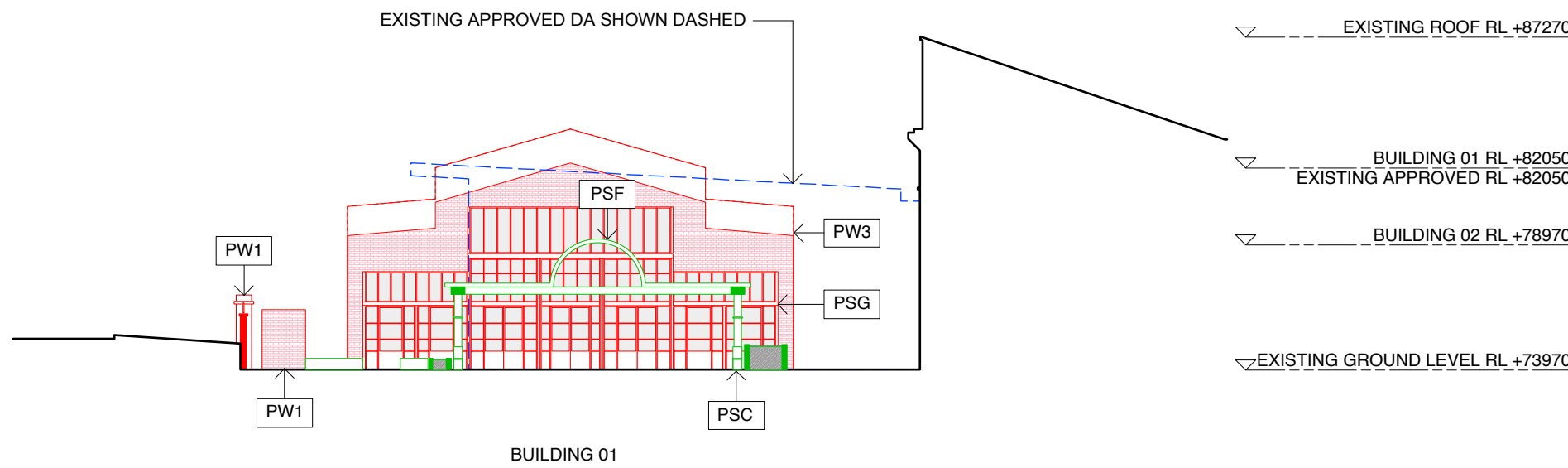
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**PROPOSED : OVERALL SECTIONS**

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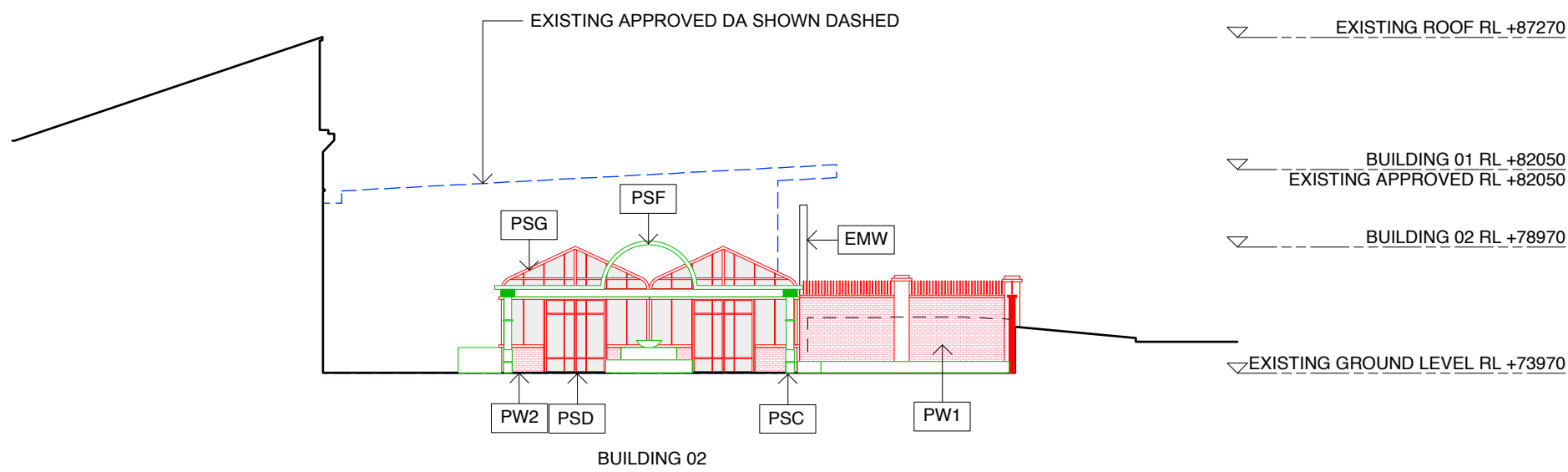
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1 ELEVATION



2 ELEVATION



3 ELEVATION

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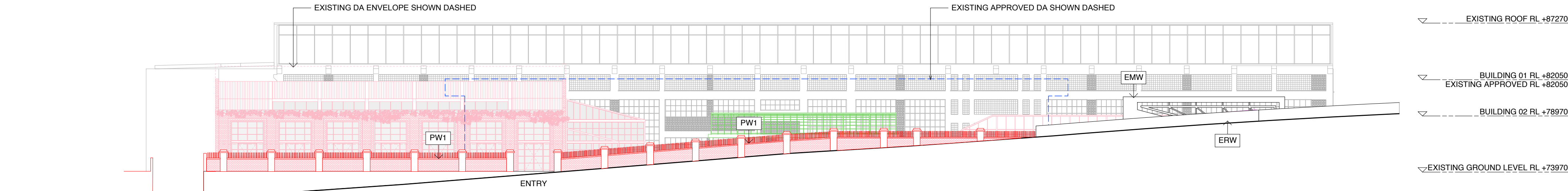
PROJECT  
**ARTARMON HOME HQ**  
1 FREDERICK STREET, ARTARMON

DRAWING  
**PROPOSED : OVERALL ELEVATIONS**

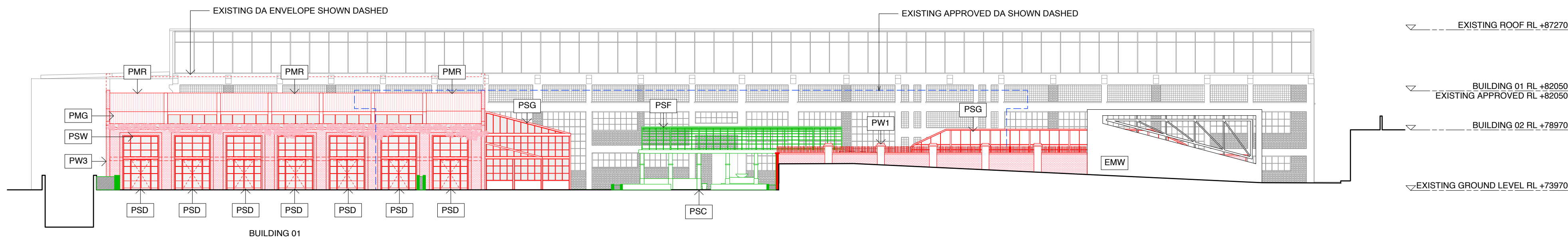
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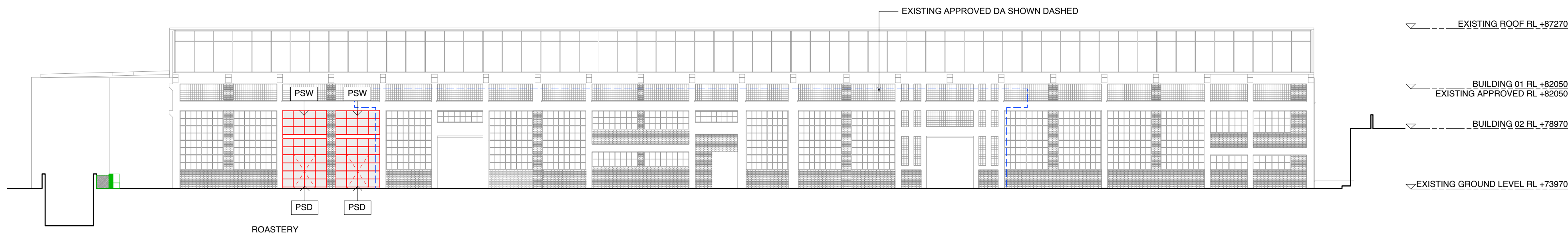




1 ELEVATION



2 ELEVATION



3 ELEVATION

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CIVIL ENGINEER	C & M CONSULTING ANTHONY MANCONE - P: 0406 659 496 ANTHONY@CMCE.COM.AU

LEGEND

NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR

RED PROPOSED WORKS  
GREEN PROPOSED LANDSCAPING

EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONARY WALL
PS	PROPOSED CONCRETE FIRE STAIR
PLP	PROPOSED LIGHTWEIGHT PARTITION
PW1	PROPOSED MASONARY BRICK WALL - TYPE 1
PW2	PROPOSED MASONARY BRICK WALL - TYPE 2
PW3	PROPOSED MASONARY BRICK WALL - TYPE 3
PMW	PROPOSED MASONARY WALL TO MATCH EXISTING
PME	PROPOSED MECHANICAL EXHAUST
PMG	PROPOSED METAL GUTTER
PMR	PROPOSED METAL ROOF SHEET
PP1	PROPOSED PAVING - TYPE 1
PP2	PROPOSED PAVING - TYPE 2
PPC	PROPOSED POLISHED CONCRETE FLOOR
PSC	PROPOSED BRICK COLUMN
PSD	PROPOSED STEEL FRAMED DOOR
PSF	PROPOSED STEEL FRAME
PSG	PROPOSED STEEL FRAMED GLAZING
PSW	PROPOSED STEEL FRAMED WINDOW
PTB	PROPOSED TIMBER FLOOR
PTD	PROPOSED TIMBER DOOR
PTF	PROPOSED TILED FLOOR

ISSUE FOR DA APPLICATION

H	30.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
G	02.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
F	17.03.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
E	01.03.17	ISSUE FOR DA APPLICATION
D	15.12.16	ISSUE FOR DA APPLICATION
C	01.12.16	ISSUE FOR CO-ORDINATION
B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

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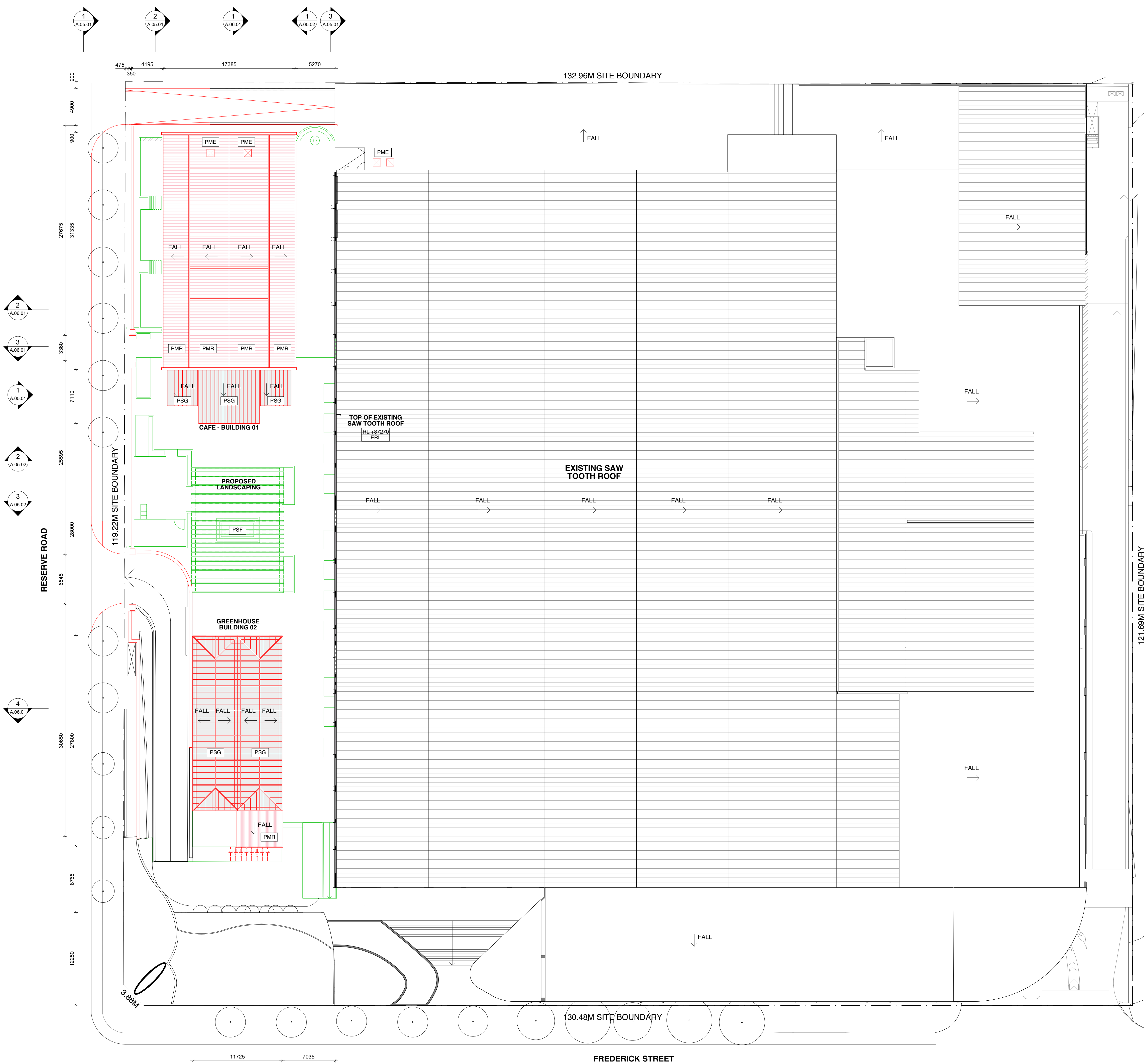
architecture + interiors  
suite 3.10  
46a macleay street  
potts point nsw 2011  
info@acme-co.com.au  
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PROJECT  
ARTARMON HOME HQ  
1 FREDERICK STREET, ARTARMON

DRAWING  
PROPOSED : OVERALL ELEVATIONS

PROJECT NO.	DATE	SCALE
06:13	23.11.2016	1:250 @ A1

DRAWING NUMBER	REVISION
A.05.01	H



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CIVIL ENGINEER	C & M CONSULTING ANTHONY MANCONE - P: 0406 659 496 ANTHONY@CMCE.COM.AU

LEGEND	
NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR	
RED	PROPOSED WORKS
GREEN	PROPOSED LANDSCAPING
EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONARY WALL
PS	PROPOSED CONCRETE FIRE STAIR
PLP	PROPOSED LIGHTWEIGHT PARTITION
PW1	PROPOSED MASONARY BRICK WALL - TYPE 1
PW2	PROPOSED MASONARY BRICK WALL - TYPE 2
PW3	PROPOSED MASONARY BRICK WALL - TYPE 3
PMW	PROPOSED MASONARY WALL TO MATCH EXISTING
PME	PROPOSED MECHANICAL EXHAUST
PMG	PROPOSED METAL GUTTER
PMR	PROPOSED METAL ROOF SHEET
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PPC	PROPOSED POLISHED CONCRETE FLOOR
PSC	PROPOSED BRICK COLUMN
PSD	PROPOSED STEEL FRAMED DOOR
PSF	PROPOSED STEEL FRAME
PSG	PROPOSED STEEL FRAMED GLAZING
PSW	PROPOSED STEEL FRAMED WINDOW
PTB	PROPOSED TIMBER FLOOR
PTD	PROPOSED TIMBER DOOR
PTF	PROPOSED TILED FLOOR

## ISSUE FOR DA APPLICATION

H	30.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
G	04.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
F	21.03.17	ISSUE FOR DA APPLICATION
E	01.03.17	ISSUE FOR DA APPLICATION
D	15.12.16	ISSUE FOR DA APPLICATION
C	01.12.16	ISSUE FOR CO-ORDINATION
B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

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suite 3.10  
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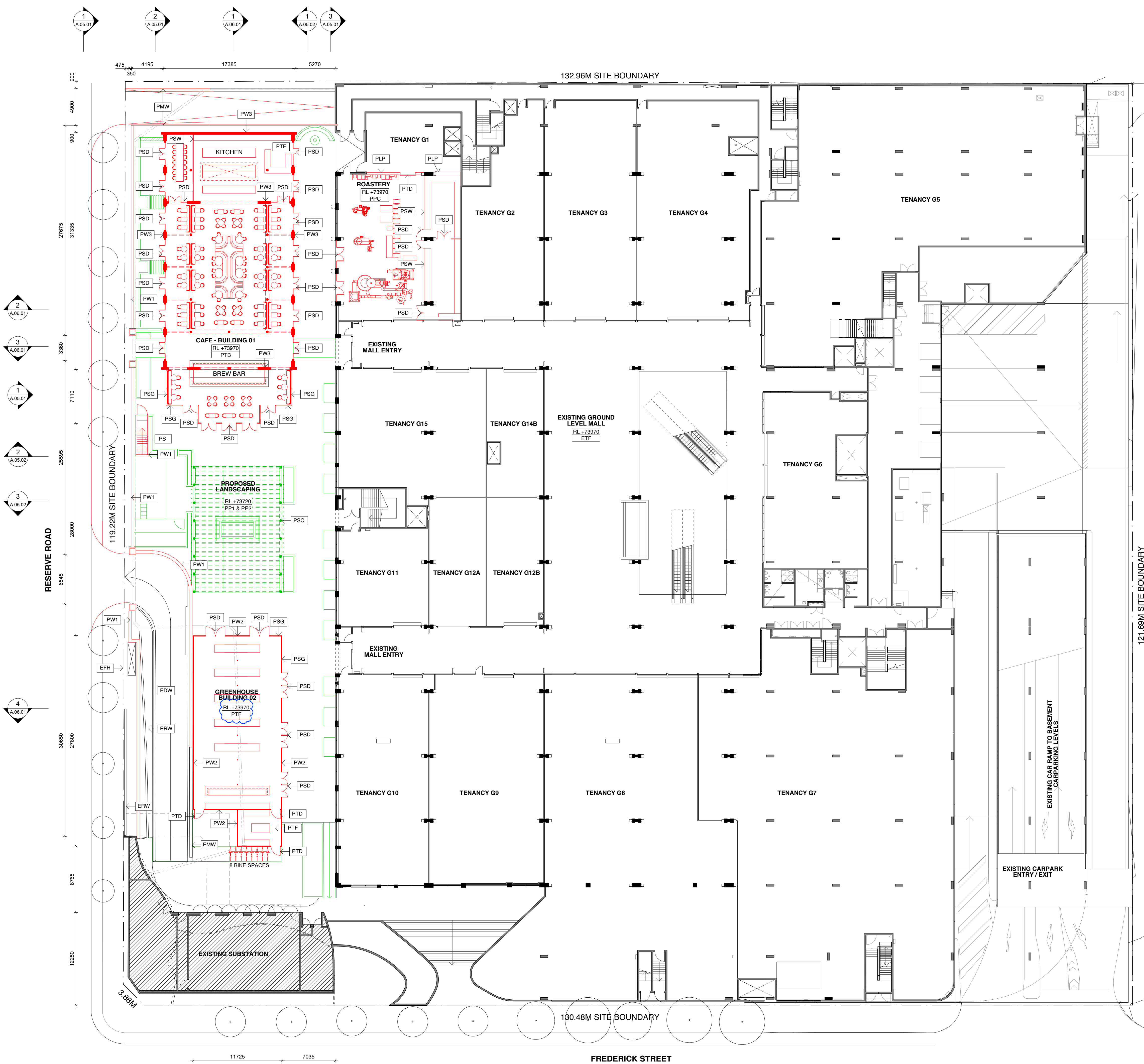
PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : ROOF PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.04.01</b>	<b>H</b>





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LEGEND	
NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR	
RED	PROPOSED WORKS
GREEN	PROPOSED LANDSCAPING
EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
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PSF	PROPOSED STEEL FRAME
PSG	PROPOSED STEEL FRAMED GLAZING
PSW	PROPOSED STEEL FRAMED WINDOW
PTB	PROPOSED TIMBER FLOOR
PTD	PROPOSED TIMBER DOOR
PTF	PROPOSED TILED FLOOR

ISSUE FOR DA APPLICATION		
G	30.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
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B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

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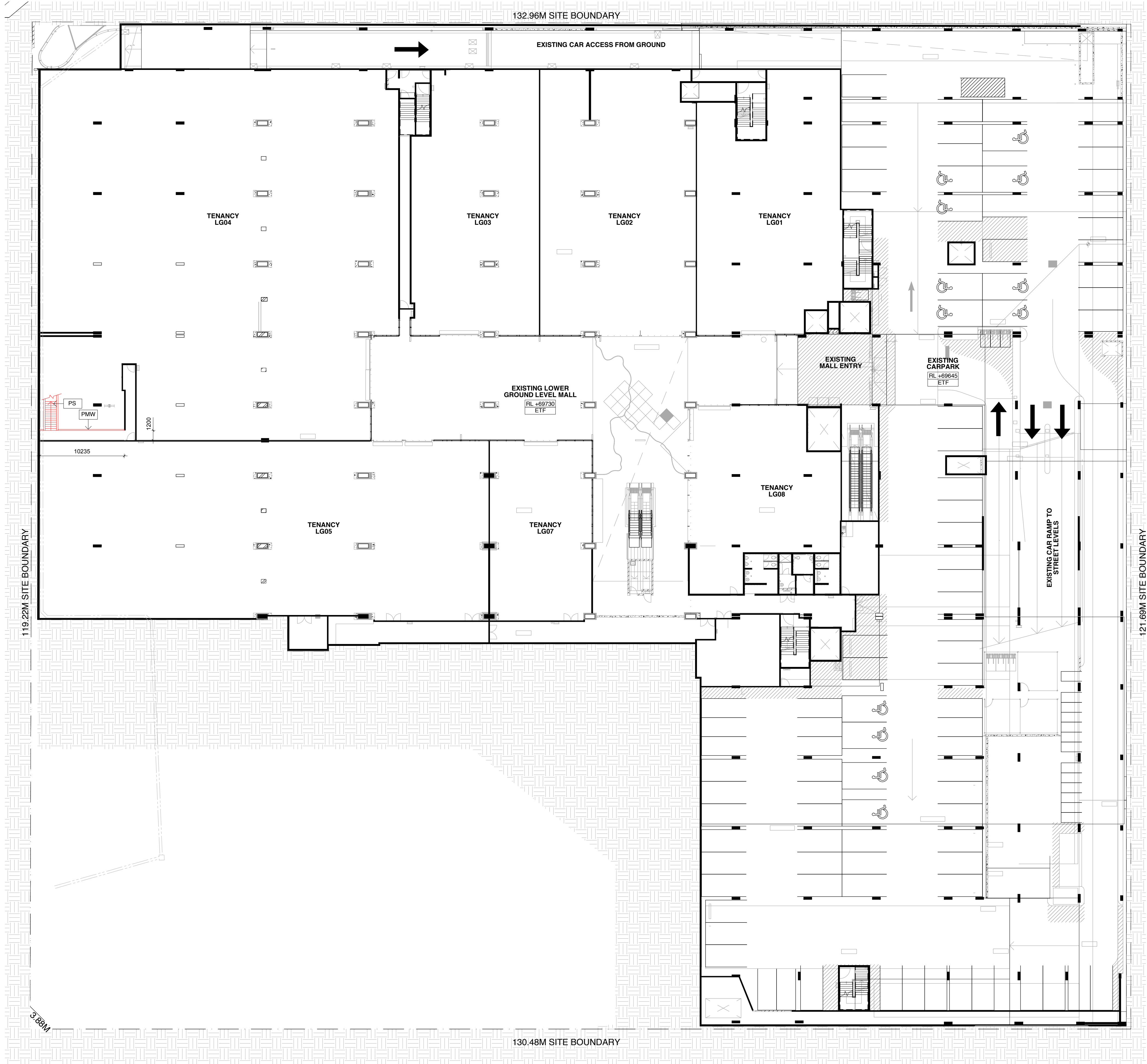
PROJECT  
**ARTARMON HOME HQ**  
1 FREDERICK STREET, ARTARMON

DRAWING  
**PROPOSED : GROUND LEVEL PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.02.03</b>	<b>G</b>





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LEGEND	
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GREEN	PROPOSED LANDSCAPING
EDW	EXISTING DRIVEWAY
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PSW	PROPOSED STEEL FRAMED WINDOW
PTB	PROPOSED TIMBER FLOOR
PTD	PROPOSED TIMBER DOOR
PTF	PROPOSED TILED FLOOR

## ISSUE FOR DA APPLICATION

E	30.05.17	ISSUE FOR DA APPLICATION
D	15.12.16	ISSUE FOR DA APPLICATION
C	01.12.16	ISSUE FOR CO-ORDINATION
B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

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info@acme-co.com.au  
acme-co.com.au

PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : LOWER GROUND LEVEL PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.02.02</b>	<b>E</b>





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CIVIL ENGINEER	C & M CONSULTING ANTHONY MANCONE - P: 0406 659 496 ANTHONY@CMCE.COM.AU

LEGEND	
NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR	
	EXISTING TENANCY
	EXISTING MALL
	NEW CAFE
	NEW ROASTERY
	NEW GARDEN CENTRE
	PROPOSED PAVING - TYPE 1
	PROPOSED PAVING - TYPE 2
	PROPOSED POLISHED CONCRETE FLOOR
	PROPOSED TIMBER FLOOR
	PROPOSED TILED FLOOR

CENTRE NET LEASING AREA (NLA)		
LEVEL	EXISTING	PROPOSED
LOWER GROUND	5,244m2	5,244m2
GROUND	7,061m2	7,988m2
UPPER GROUND	9,876m2	9,876m2
TOTAL	22,201m2	23,108m2

CAR PARKING SUPPLY		
LEVEL	EXISTING	PROPOSED
AT GRADE CARPARK	61	0
LOWER GROUND	96	96
CP1 (PUBLIC)	167	167
CP2 (PUBLIC)	183	183
TOTAL:	507	446

## ISSUE FOR DA APPLICATION

G	30.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
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acme-co.com.au

PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : FSR CALCULATION PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.02.01</b>	<b>G</b>



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LEGEND

NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR

DAS	DEMOLISH ALUMINIUM CLAD STRUCTURE
DAW	DEMOLISH ALUMINIUM FRAMED WINDOW
DBP	DEMOLISH BIKE PARKING SPACES
DCS	DEMOLISH CAR PARKING SPACES
DCK	DEMOLISH CONCRETE KERB
DDE	DEMOLISH DRIVEWAY ENTRY
DFS	DEMOLISH FIRE STAIR
DMW	DEMOLISH MASONRY WALL
DRP	DEMOLISH RAMP
DMW	DEMOLISH RETAINING WALL
EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONRY WALL

ISSUE FOR DA APPLICATION

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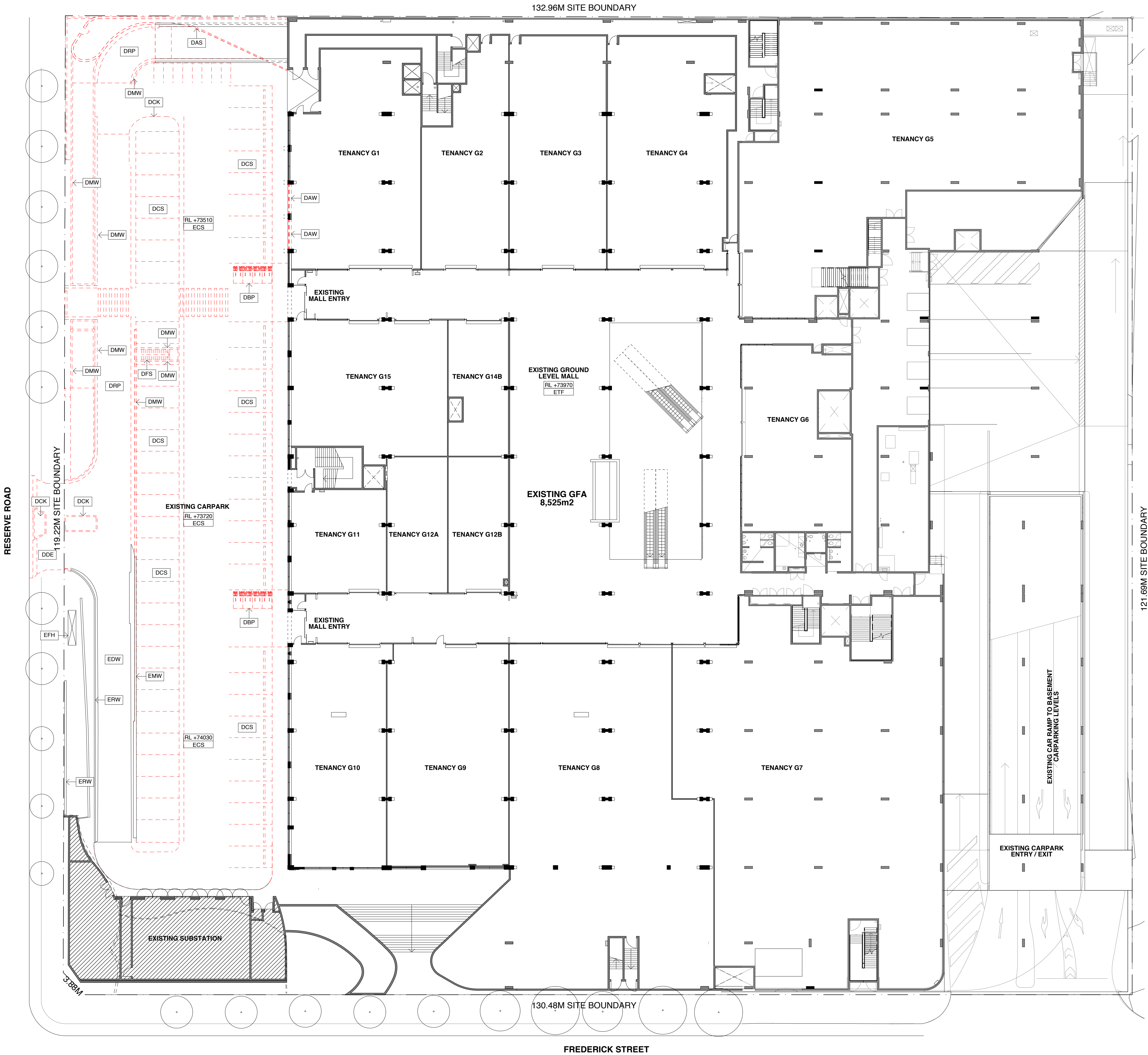
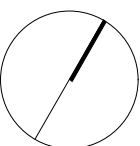
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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

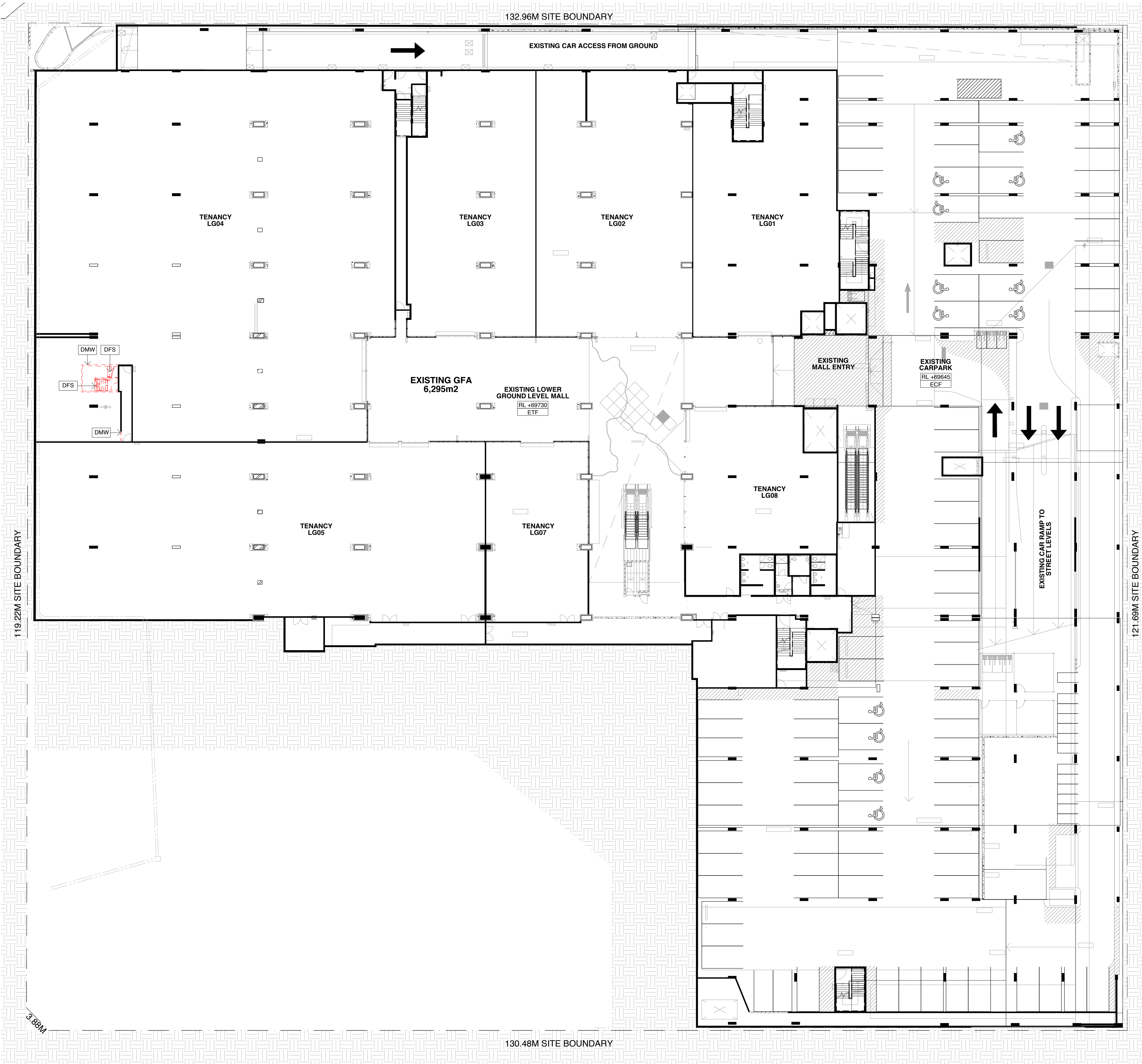
DRAWING  
**PROPOSED : GROUND LEVEL DEMOLITION PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.05</b>	<b>E</b>







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STRUCTURAL ENGINEER	ROBERT BIRD KOSMAS KIKKINOS - P: 02 8246 3200 KOSMAS.KIKKINOS@ROBERTBIRD.COM.AU
CIVIL ENGINEER	C & M CONSULTING ANTHONY MANCONE - P: 0406 659 496 ANTHONY@CMCE.COM.AU

LEGEND	
NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR	
DAS	DEMOLISH ALUMINIUM CLAD STRUCTURE
DAW	DEMOLISH ALUMINIUM FRAMED WINDOW
DBP	DEMOLISH BIKE PARKING SPACES
DCS	DEMOLISH CAR PARKING SPACES
DCK	DEMOLISH CONCRETE KERB
DDE	DEMOLISH DRIVEWAY ENTRY
DFS	DEMOLISH FIRE STAIR
DMW	DEMOLISH MASONRY WALL
DRP	DEMOLISH RAMP
DMW	DEMOLISH RETAINING WALL
EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONRY WALL

## ISSUE FOR DA APPLICATION

D	15.12.16	ISSUE FOR DA APPLICATION
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B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

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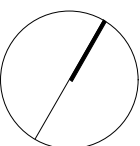
architecture + interiors  
suite 3.10  
46a macleay street  
potts point nsw 2011  
info@acme-co.com.au  
acme-co.com.au

PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : LOWER GROUND DEMOLITION PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.04</b>	<b>D</b>







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**LEGEND**

**ISSUE FOR DA APPLICATION**

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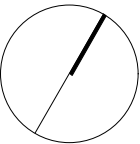
architecture + interiors  
suite 3.10  
46a macleay street  
potts point nsw 2011  
info@acme-co.com.au  
acme-co.com.au

PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**EXISTING : ROOF PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.03</b>	<b>D</b>







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LEGEND

- EXISTING TENANCY
- EXISTING MALL

ISSUE FOR DA APPLICATION

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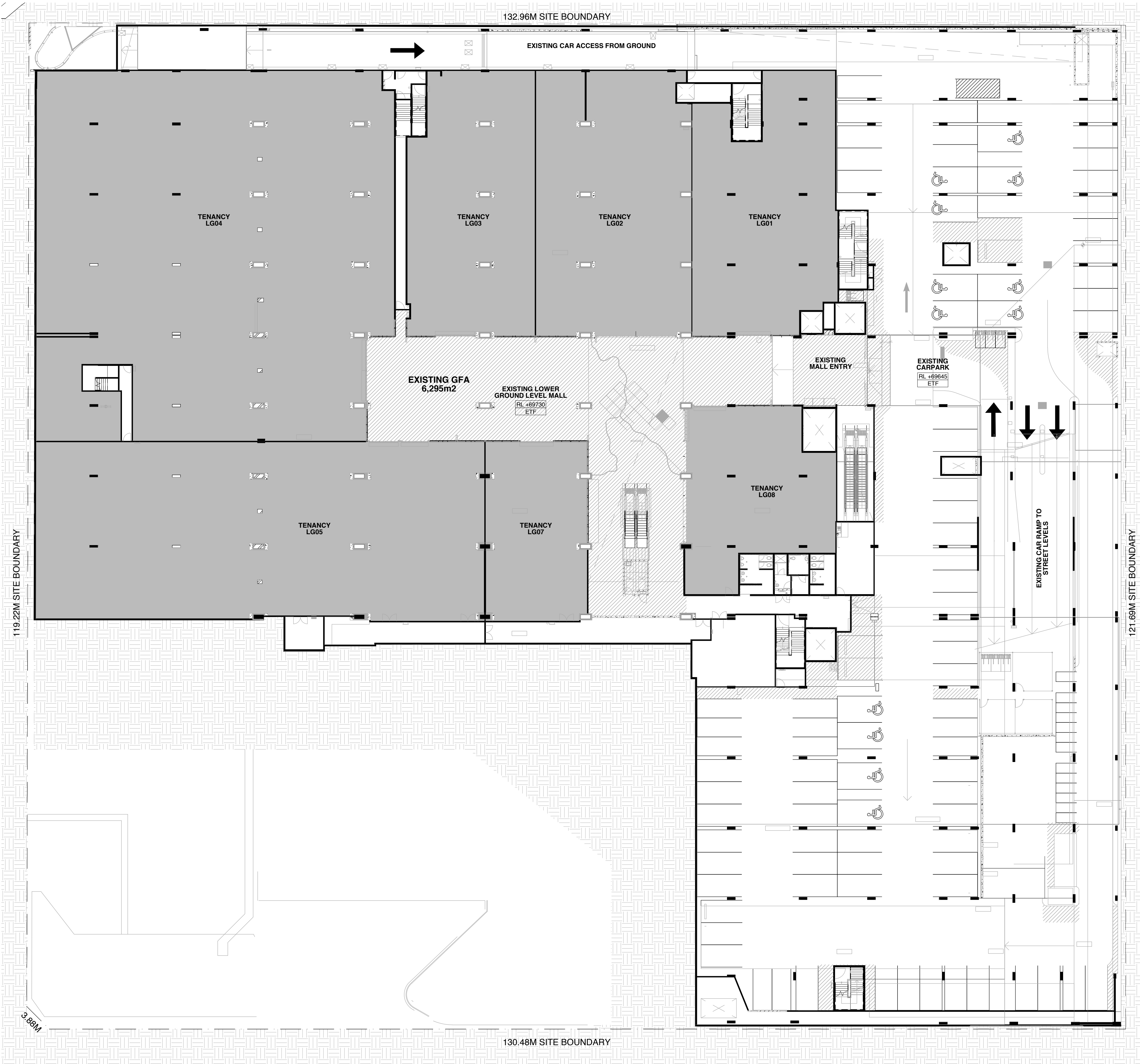
PROJECT  
**ARTARMON HOME HQ  
1 FREDERICK STREET, ARTARMON**

DRAWING  
**EXISTING : GROUND LEVEL PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.02</b>	<b>D</b>





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LEGEND

- EXISTING TENANCY
- EXISTING MALL

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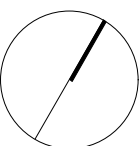
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acme-co.com.au

PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**EXISTING : LOWER GROUND LEVEL PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.01</b>	<b>D</b>







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**LEGEND**

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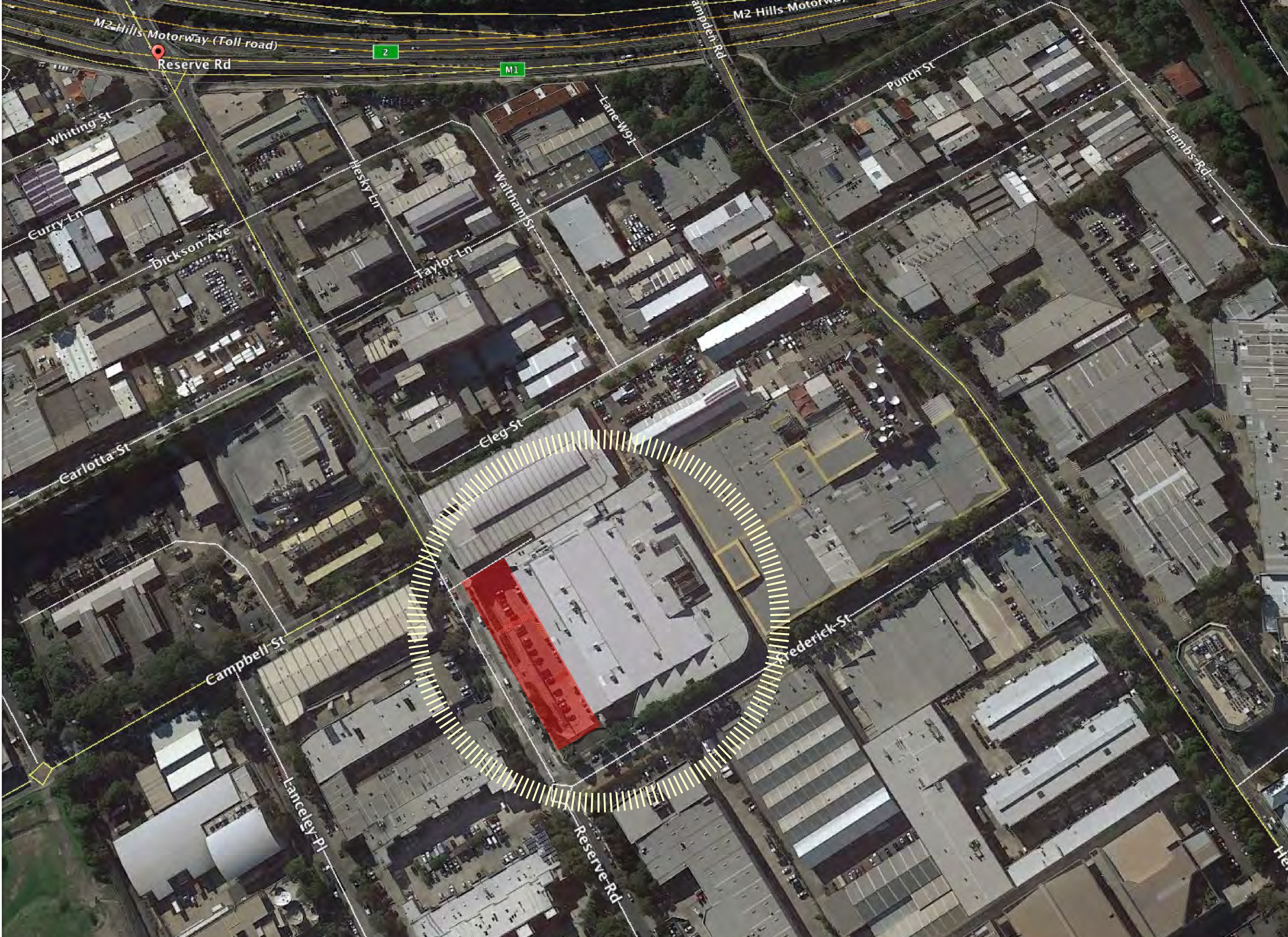
PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**SITE PHOTOGRAPH**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>NTS</b>

DRAWING NUMBER	REVISION
<b>A.00.02</b>	<b>D</b>





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LEGEND	
DRAWING LIST	
A.00.01	AERIAL PHOTOGRAPH
A.00.02	SITE PHOTOGRAPH
A.01.01	EXISTING : LOWER GROUND LEVEL FLOOR PLAN
A.01.02	EXISTING : GROUND LEVEL FLOOR PLAN
A.01.03	EXISTING : ROOF PLAN
A.01.04	PROPOSED : LOWER GROUND LEVEL DEMOLITION PLAN
A.01.05	PROPOSED : GROUND LEVEL DEMOLITION PLAN
A.02.01	PROPOSED : FSR
A.02.02	PROPOSED : LOWER GROUND LEVEL PLAN
A.02.03	PROPOSED : GROUND LEVEL PLAN
A.04.01	PROPOSED : ROOF PLAN
A.05.01	PROPOSED : OVERALL ELEVATIONS
A.05.02	PROPOSED : OVERALL ELEVATIONS
A.06.01	PROPOSED : OVERALL SECTIONS
A.07.01	EXTERNAL MATERIAL SELECTION
A.08.01	EXTERNAL PERSPECTIVE VIEW - RESERVE RD

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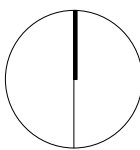
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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

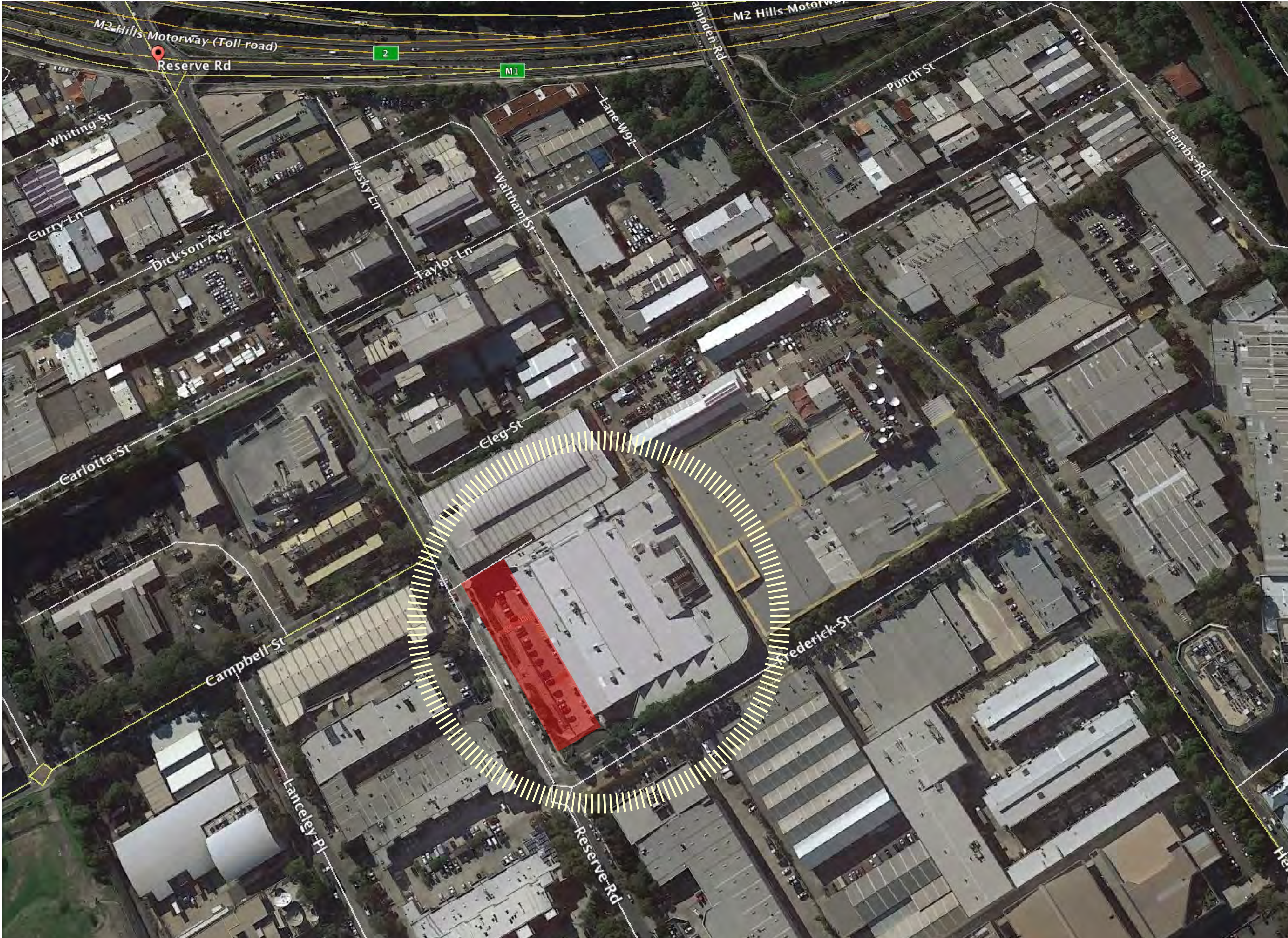
DRAWING  
**AERIAL PHOTOGRAPH**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>NTS</b>

DRAWING NUMBER	REVISION
<b>A.00.01</b>	<b>D</b>







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LEGEND	
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A.00.01	AERIAL PHOTOGRAPH
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A.01.05	PROPOSED : GROUND LEVEL DEMOLITION PLAN
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A.02.02	PROPOSED : LOWER GROUND LEVEL PLAN
A.02.03	PROPOSED : GROUND LEVEL PLAN
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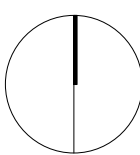
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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**AERIAL PHOTOGRAPH**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>NTS</b>

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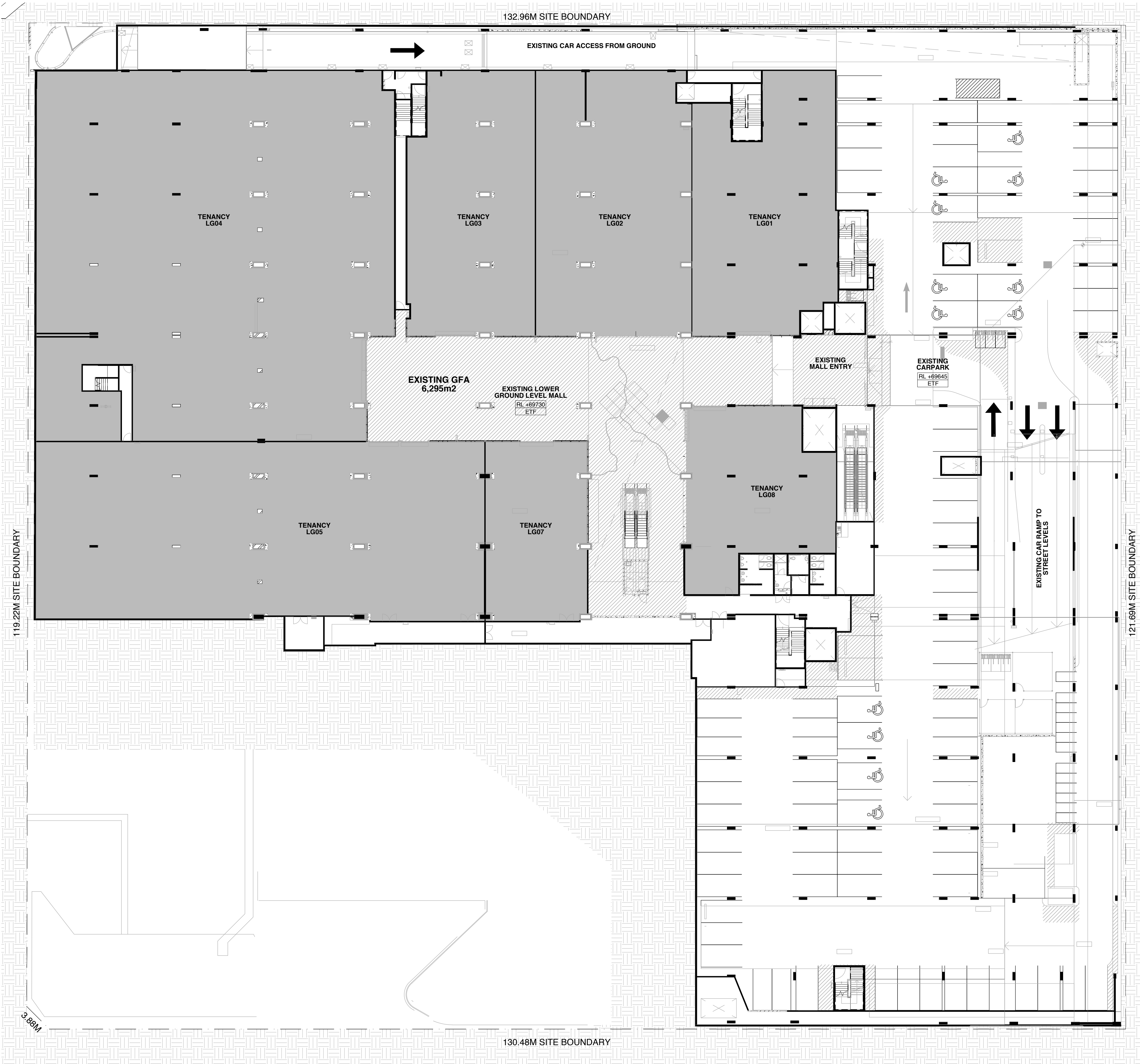
PROJECT  
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**1 FREDERICK STREET, ARTARMON**

DRAWING  
**SITE PHOTOGRAPH**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>NTS</b>

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LEGEND	
	EXISTING TENANCY
	EXISTING MALL

## ISSUE FOR DA APPLICATION

D	15.12.16	ISSUE FOR DA APPLICATION
C	01.12.16	ISSUE FOR CO-ORDINATION
B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

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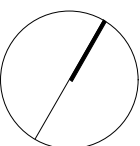
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info@acme-co.com.au  
acme-co.com.au

PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**EXISTING : LOWER GROUND LEVEL PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.01</b>	<b>D</b>







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LEGEND	
	EXISTING TENANCY
	EXISTING MALL

## ISSUE FOR DA APPLICATION

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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**EXISTING : GROUND LEVEL PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.02</b>	<b>D</b>





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**LEGEND**

**ISSUE FOR DA APPLICATION**

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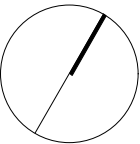
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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

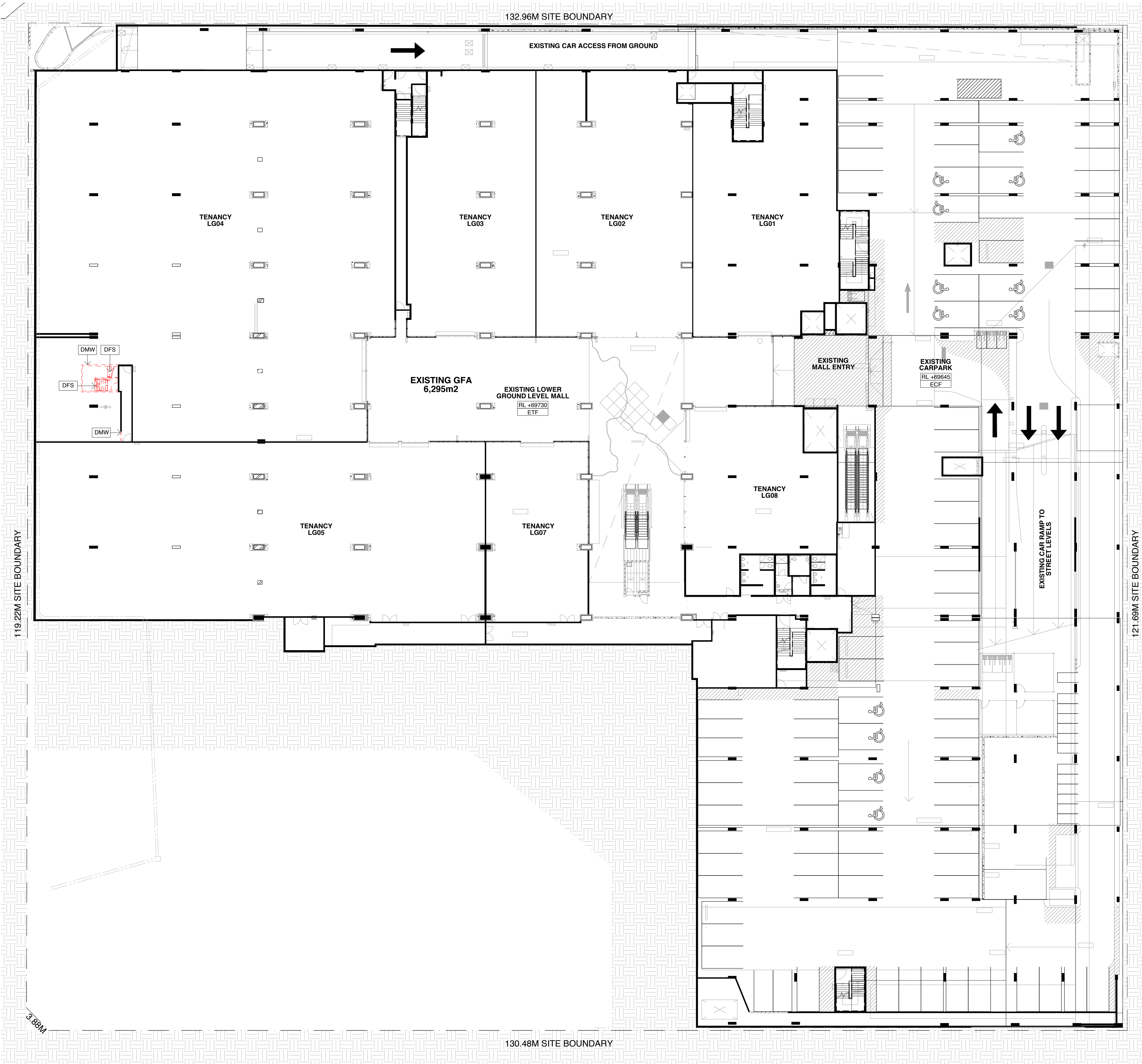
DRAWING  
**EXISTING : ROOF PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.03</b>	<b>D</b>







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LEGEND	
NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR	
DAS	DEMOLISH ALUMINIUM CLAD STRUCTURE
DAW	DEMOLISH ALUMINIUM FRAMED WINDOW
DBP	DEMOLISH BIKE PARKING SPACES
DCS	DEMOLISH CAR PARKING SPACES
DKK	DEMOLISH CONCRETE KERB
DDE	DEMOLISH DRIVEWAY ENTRY
DFS	DEMOLISH FIRE STAIR
DMW	DEMOLISH MASONRY WALL
DRP	DEMOLISH RAMP
DMW	DEMOLISH RETAINING WALL
EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONRY WALL

## ISSUE FOR DA APPLICATION

D	15.12.16	ISSUE FOR DA APPLICATION
C	01.12.16	ISSUE FOR CO-ORDINATION
B	30.11.16	ISSUE FOR CO-ORDINATION
A	24.11.16	ISSUE FOR CO-ORDINATION
REV	DATE	DESCRIPTION

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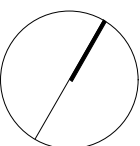
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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : LOWER GROUND DEMOLITION PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.04</b>	<b>D</b>





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LEGEND

NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR

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DAW	DEMOLISH ALUMINIUM FRAMED WINDOW
DBP	DEMOLISH BIKE PARKING SPACES
DCS	DEMOLISH CAR PARKING SPACES
DCK	DEMOLISH CONCRETE KERB
DDE	DEMOLISH DRIVEWAY ENTRY
DFS	DEMOLISH FIRE STAIR
DMW	DEMOLISH MASONRY WALL
DRP	DEMOLISH RAMP
DMW	DEMOLISH RETAINING WALL
EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONRY WALL

ISSUE FOR DA APPLICATION

E	01.03.17	ISSUE FOR DA APPLICATION
D	15.12.16	ISSUE FOR DA APPLICATION
C	01.12.16	ISSUE FOR CO-ORDINATION
B	30.11.16	ISSUE FOR CO-ORDINATION
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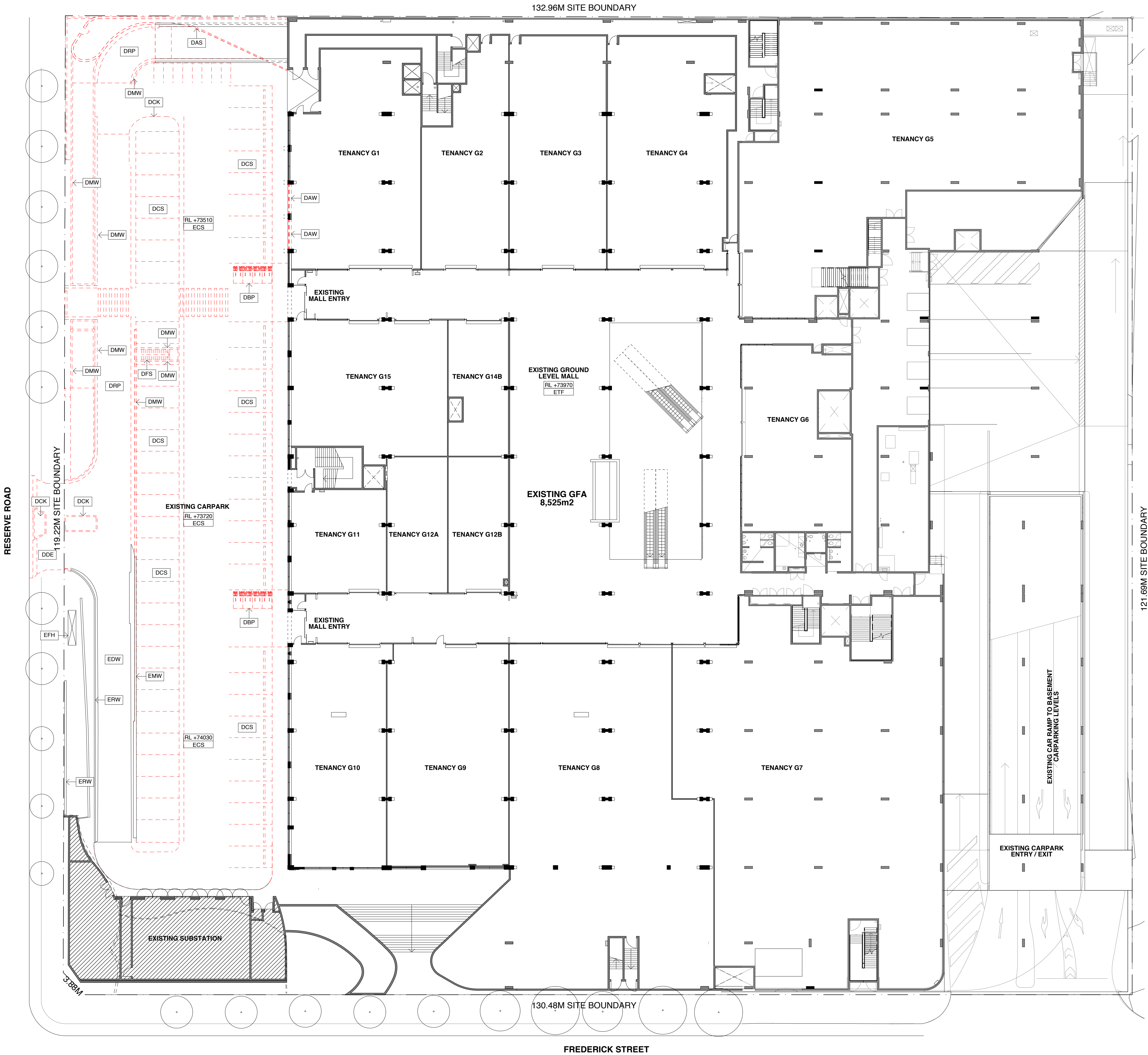
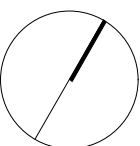
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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : GROUND LEVEL DEMOLITION PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.01.05</b>	<b>E</b>







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LEGEND

NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR

	EXISTING TENANCY
	EXISTING MALL
	NEW CAFE
	NEW ROASTERY
	NEW GARDEN CENTRE
	PROPOSED PAVING - TYPE 1
	PROPOSED PAVING - TYPE 2
	PROPOSED POLISHED CONCRETE FLOOR
	PROPOSED TIMBER FLOOR
	PROPOSED TILED FLOOR

CENTRE NET LEASING AREA (NLA)

LEVEL	EXISTING	PROPOSED
LOWER GROUND	5,244m2	5,244m2
GROUND	7,061m2	7,988m2
UPPER GROUND	9,876m2	9,876m2
TOTAL	22,201m2	23,108m2

CAR PARKING SUPPLY

LEVEL	EXISTING	PROPOSED
AT GRADE CARPARK	61	0
LOWER GROUND	96	96
CP1 (PUBLIC)	167	167
CP2 (PUBLIC)	183	183
TOTAL:	507	446

ISSUE FOR DA APPLICATION

G	30.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
F	04.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
E	01.03.17	ISSUE FOR DA APPLICATION
D	15.12.16	ISSUE FOR DA APPLICATION
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B	30.11.16	ISSUE FOR CO-ORDINATION
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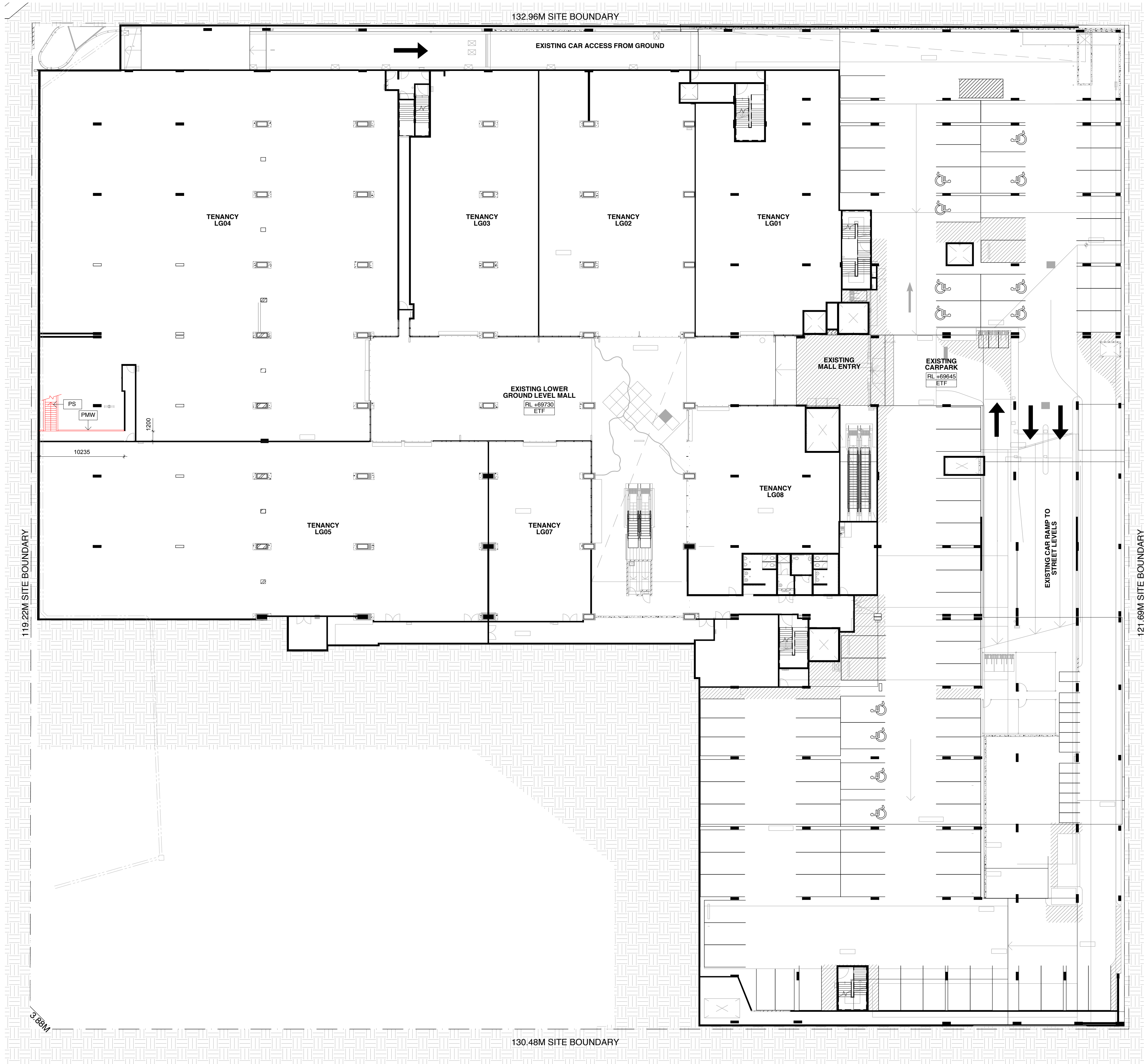
PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : FSR CALCULATION PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.02.01</b>	<b>G</b>





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LEGEND	
NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR	
RED	PROPOSED WORKS
GREEN	PROPOSED LANDSCAPING
EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONARY WALL
PS	PROPOSED CONCRETE FIRE STAIR
PLP	PROPOSED LIGHTWEIGHT PARTITION
PW1	PROPOSED MASONARY BRICK WALL - TYPE 1
PW2	PROPOSED MASONARY BRICK WALL - TYPE 2
PW3	PROPOSED MASONARY BRICK WALL - TYPE 3
PMW	PROPOSED MASONARY WALL TO MATCH EXISTING
PME	PROPOSED MECHANICAL EXHAUST
PMG	PROPOSED METAL GUTTER
PMR	PROPOSED METAL ROOF SHEET
PP1	PROPOSED PAVING - TYPE 1
PP2	PROPOSED PAVING - TYPE 2
PPC	PROPOSED POLISHED CONCRETE FLOOR
PSC	PROPOSED BRICK COLUMN
PSD	PROPOSED STEEL FRAMED DOOR
PSF	PROPOSED STEEL FRAME
PSG	PROPOSED STEEL FRAMED GLAZING
PSW	PROPOSED STEEL FRAMED WINDOW
PTB	PROPOSED TIMBER FLOOR
PTD	PROPOSED TIMBER DOOR
PTF	PROPOSED TILED FLOOR

## ISSUE FOR DA APPLICATION

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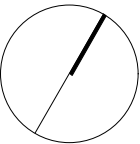
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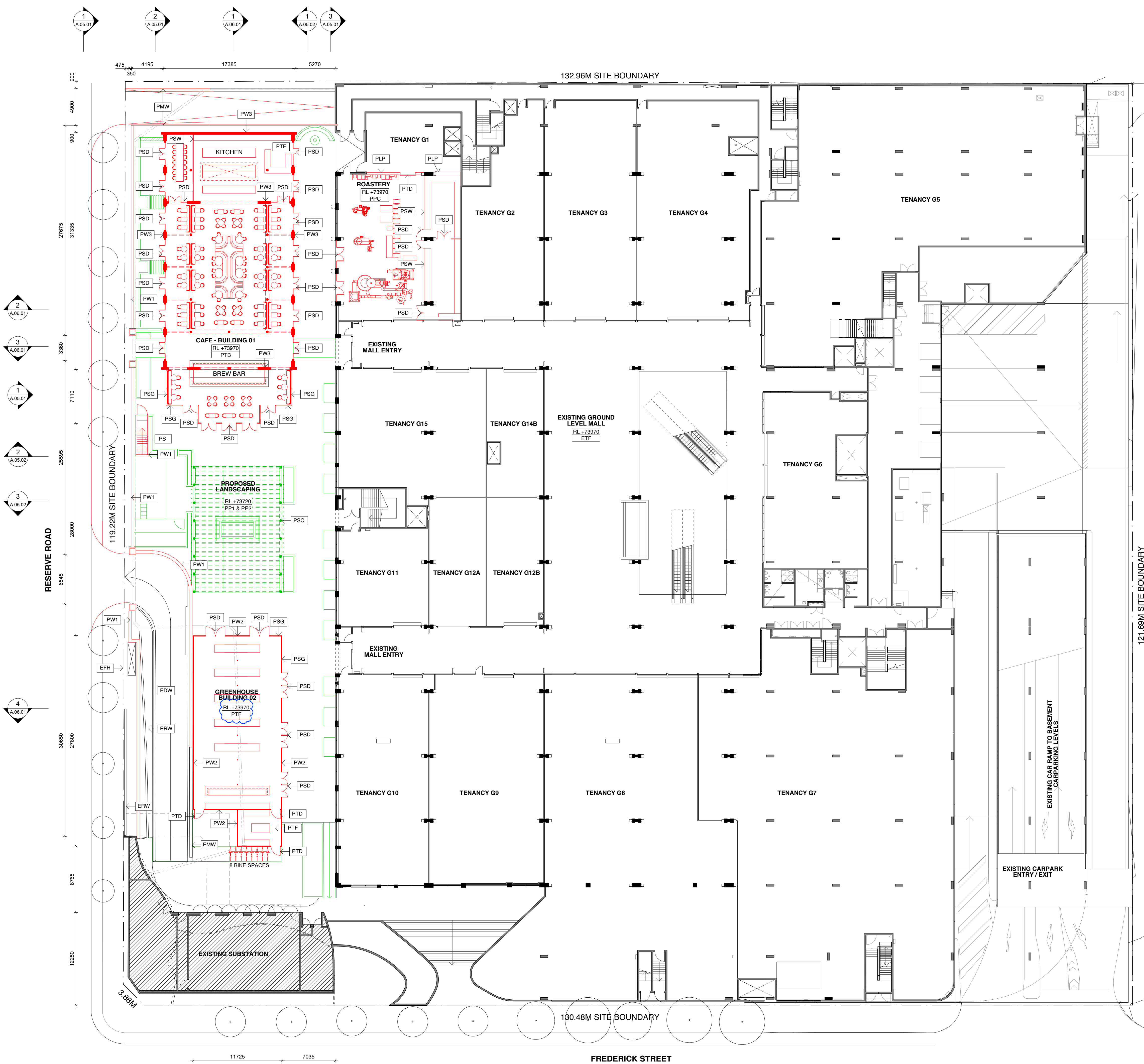
DRAWING  
**PROPOSED : LOWER GROUND LEVEL PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.02.02</b>	<b>E</b>







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CIVIL ENGINEER	C & M CONSULTING ANTHONY MANCONE - P: 0406 659 496 ANTHONY@CMCE.COM.AU

LEGEND	
NOTE ALL PROPOSED MODIFICATIONS INDICATED IN COLOUR	
RED	PROPOSED WORKS
GREEN	PROPOSED LANDSCAPING
EDW	EXISTING DRIVEWAY
EFH	EXISTING FIRE HYDRANT BOOSTER
ERW	EXISTING RETAINING WALL
EMW	EXISTING MASONARY WALL
PS	PROPOSED CONCRETE FIRE STAIR
PLP	PROPOSED LIGHTWEIGHT PARTITION
PW1	PROPOSED MASONARY BRICK WALL - TYPE 1
PW2	PROPOSED MASONARY BRICK WALL - TYPE 2
PW3	PROPOSED MASONARY BRICK WALL - TYPE 3
PMW	PROPOSED MASONARY WALL TO MATCH EXISTING
PME	PROPOSED MECHANICAL EXHAUST
PMG	PROPOSED METAL GUTTER
PMR	PROPOSED METAL ROOF SHEET
PP1	PROPOSED PAVING - TYPE 1
PP2	PROPOSED PAVING - TYPE 2
PPC	PROPOSED POLISHED CONCRETE FLOOR
PSC	PROPOSED BRICK COLUMN
PSD	PROPOSED STEEL FRAMED DOOR
PSF	PROPOSED STEEL FRAME
PSG	PROPOSED STEEL FRAMED GLAZING
PSW	PROPOSED STEEL FRAMED WINDOW
PTB	PROPOSED TIMBER FLOOR
PTD	PROPOSED TIMBER DOOR
PTF	PROPOSED TILED FLOOR

ISSUE FOR DA APPLICATION		
G	30.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
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E	01.03.17	ISSUE FOR DA APPLICATION
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REV	DATE	DESCRIPTION

**ACME & O**

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46a macleay street  
potts point nsw 2011  
info@acme-co.com.au  
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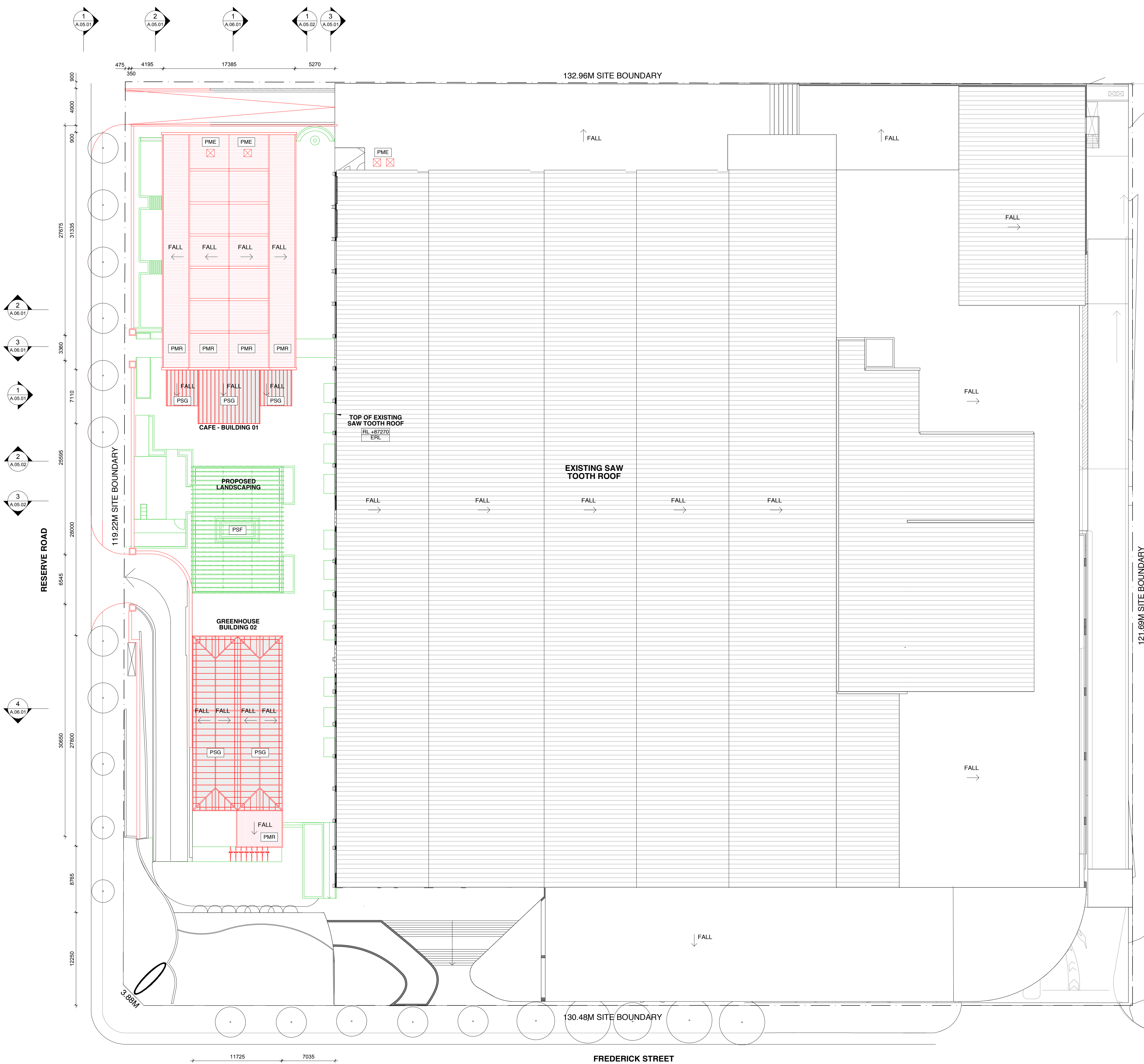
PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : GROUND LEVEL PLAN**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.02.03</b>	<b>G</b>





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## ISSUE FOR DA APPLICATION

H	30.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
G	04.05.17	ISSUE FOR DA APPLICATION - POST DA REVIEW
F	21.03.17	ISSUE FOR DA APPLICATION
E	01.03.17	ISSUE FOR DA APPLICATION
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REV	DATE	DESCRIPTION

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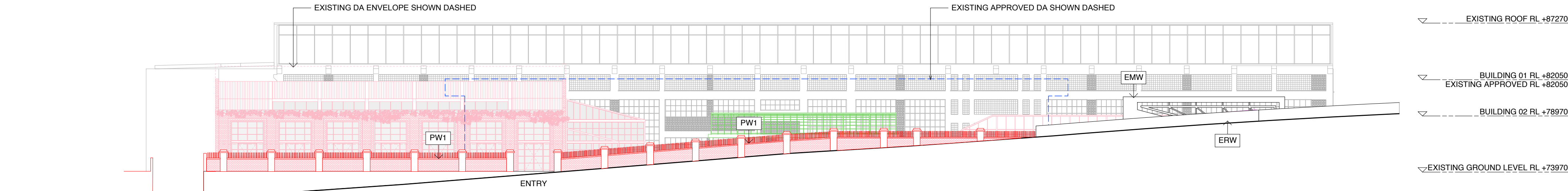
PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : ROOF PLAN**

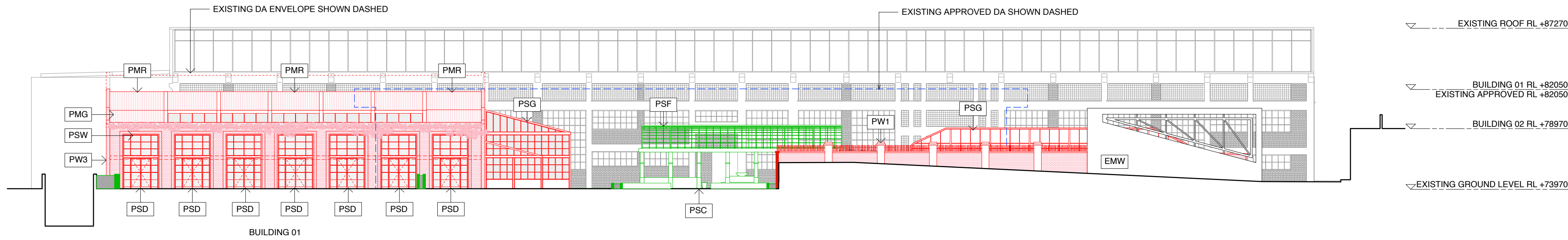
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<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.04.01</b>	<b>H</b>

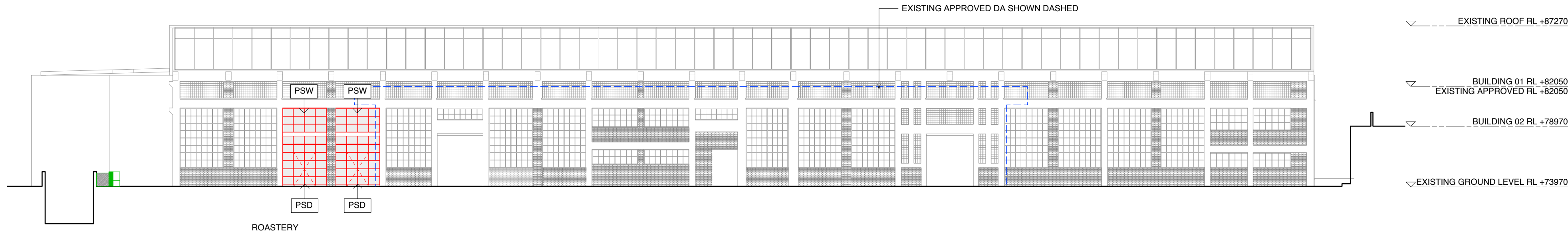




1 ELEVATION



2 ELEVATION



3 ELEVATION

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#### LEGEND

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GREEN PROPOSED LANDSCAPING

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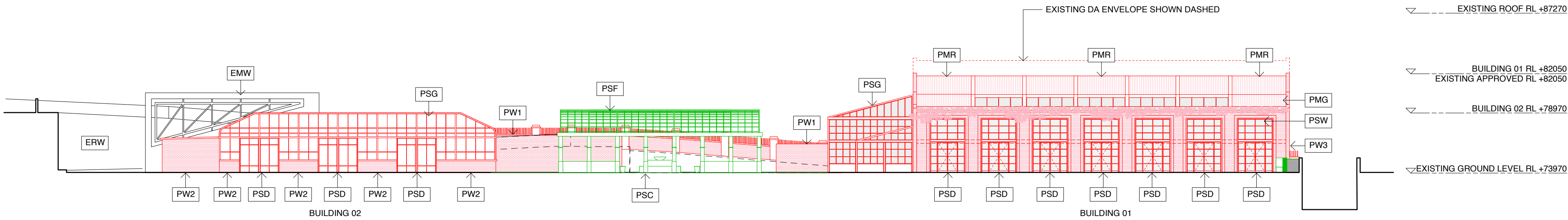
PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : OVERALL ELEVATIONS**

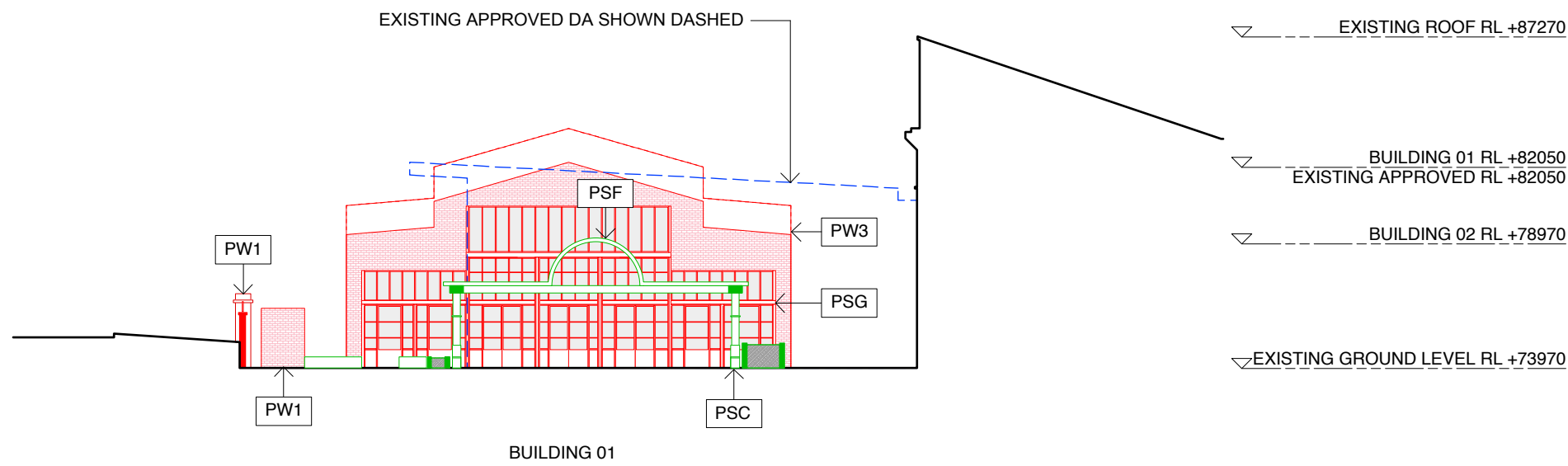
PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.05.01</b>	<b>H</b>

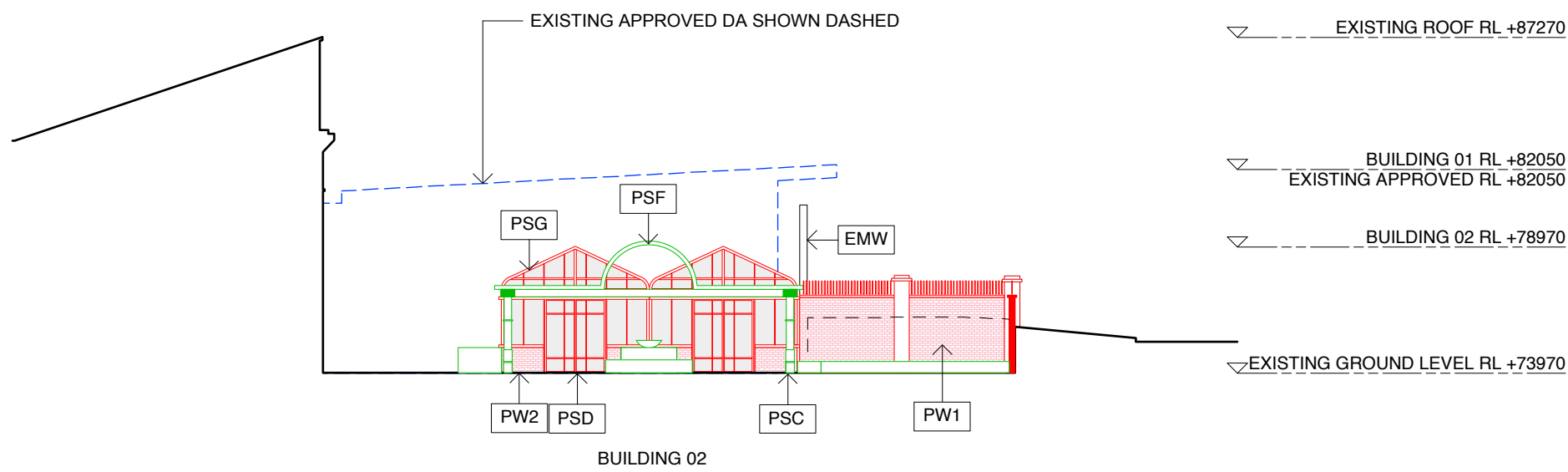




1 ELEVATION



2 ELEVATION



3 ELEVATION

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LEGEND

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GREEN PROPOSED LANDSCAPING

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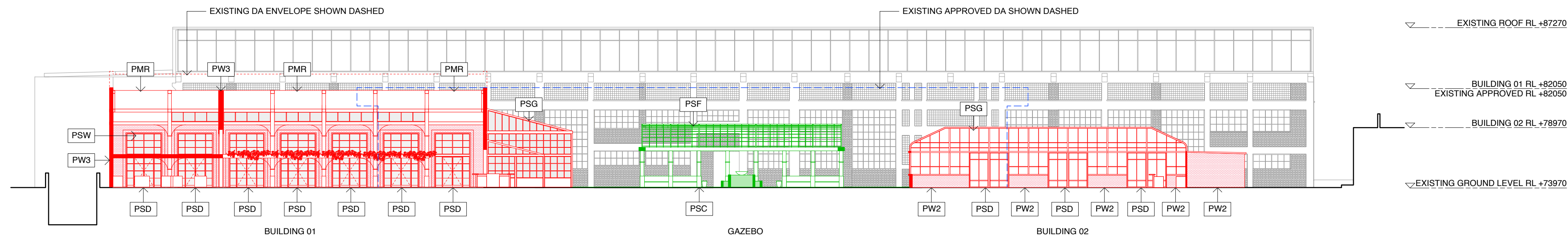
PROJECT  
**ARTARMON HOME HQ**  
1 FREDERICK STREET, ARTARMON

DRAWING  
**PROPOSED : OVERALL ELEVATIONS**

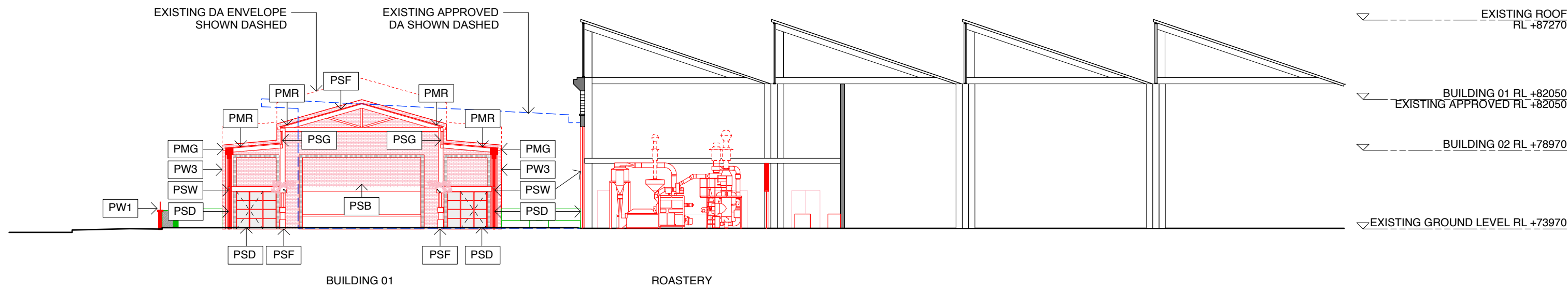
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DRAWING NUMBER	REVISION
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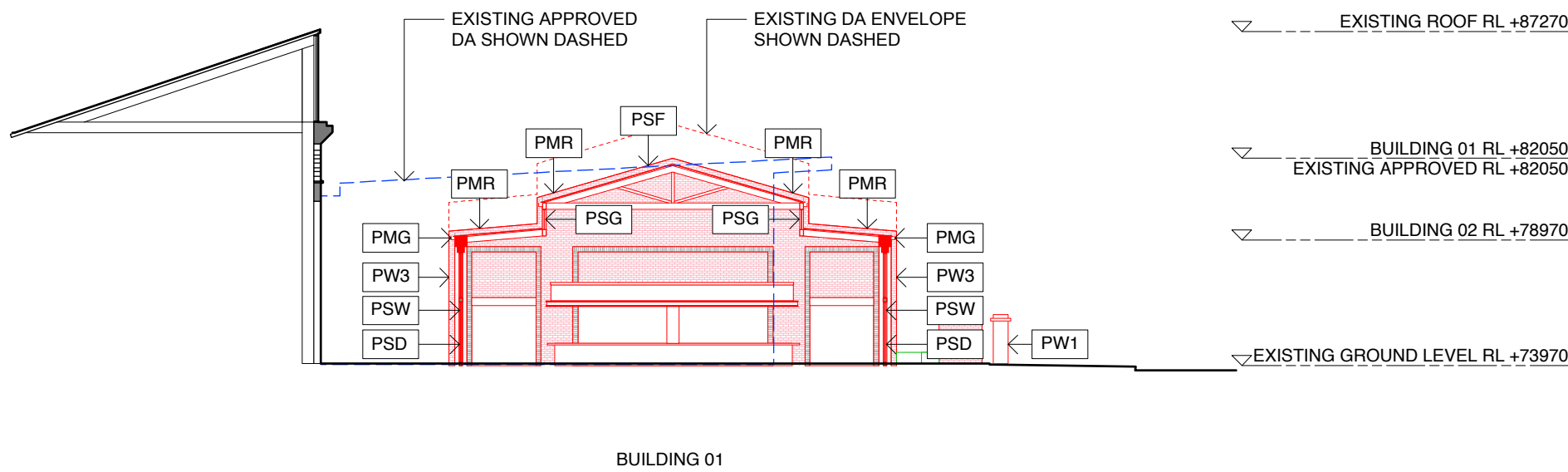




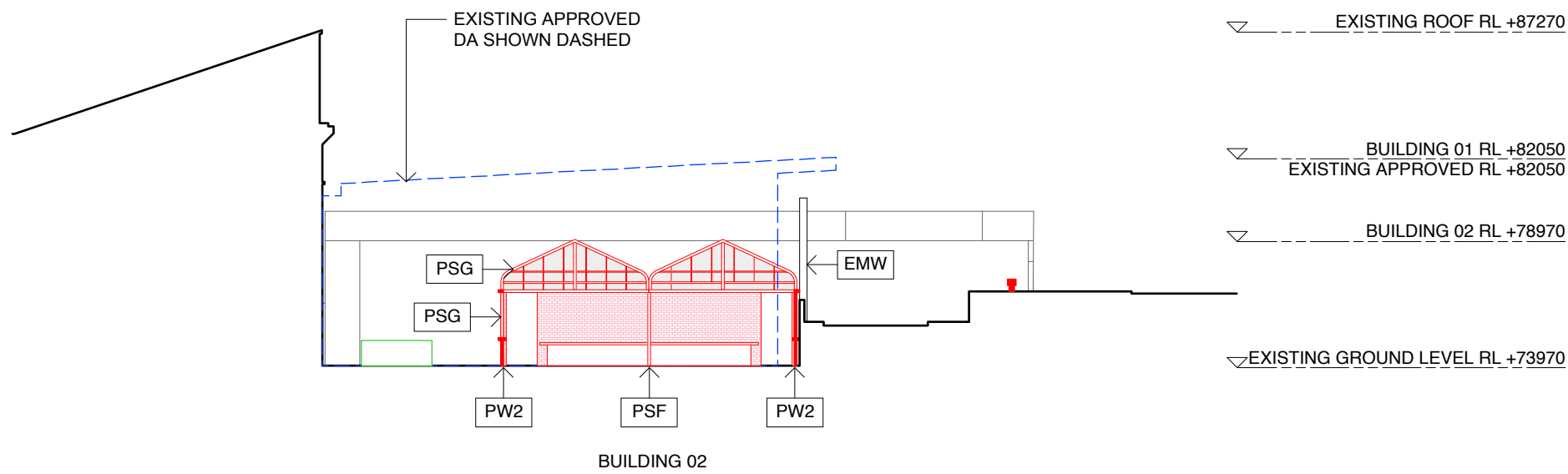
1 SECTION



2 SECTION



3 SECTION



4 SECTION

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PROJECT  
**ARTARMON HOME HQ**  
**1 FREDERICK STREET, ARTARMON**

DRAWING  
**PROPOSED : OVERALL SECTIONS**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>1:250 @ A1</b>

DRAWING NUMBER	REVISION
<b>A.06.01</b>	<b>H</b>





STEEL FRAMEWORK & BRICKWORK TO BUILDING ONE



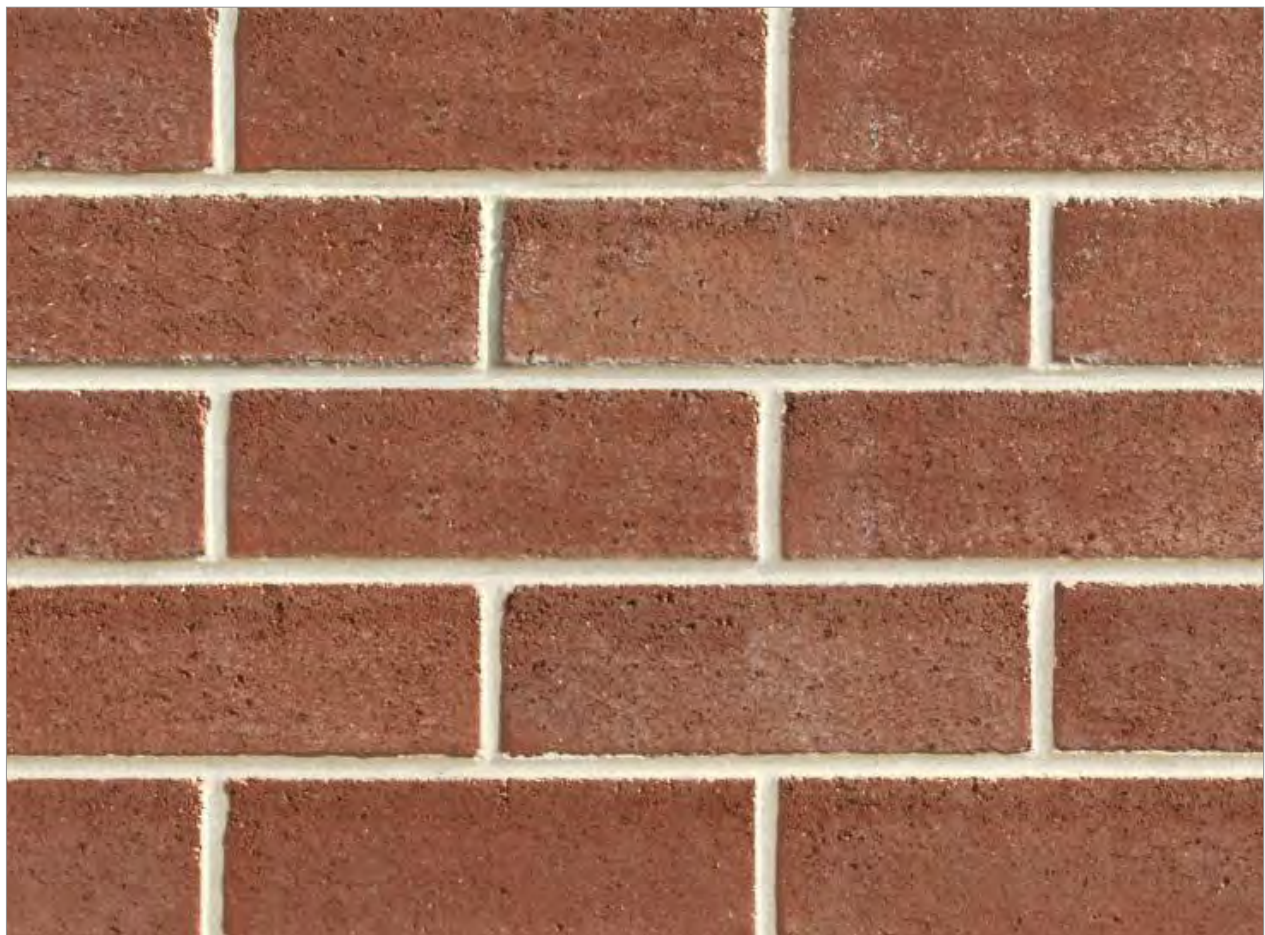
STEEL FRAMEWORK & GLAZING TO CAFE CONSERVATORY



BRICK & TIMBER STRUCTURE TO GAZEBO



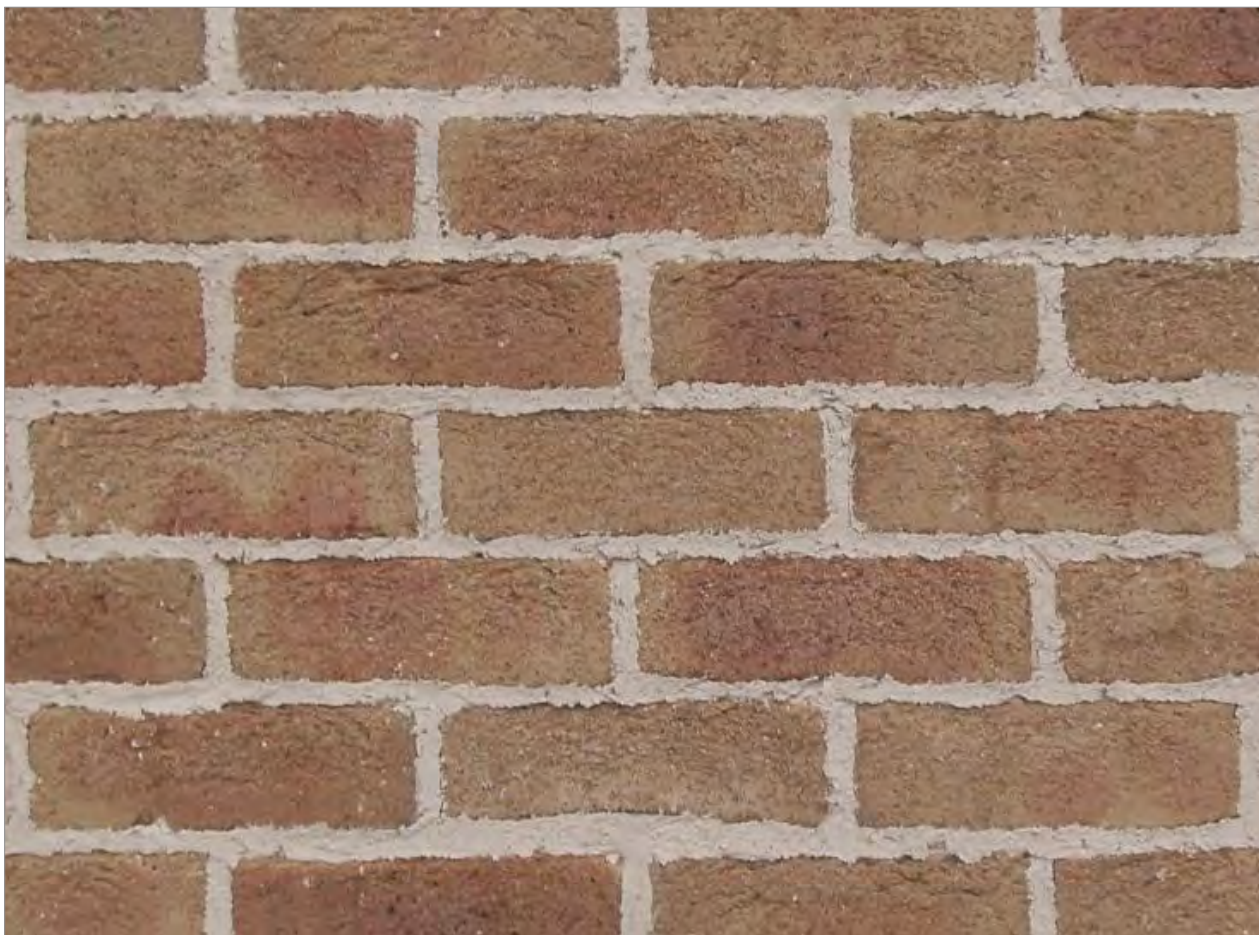
STEEL FRAMEWORK & GLAZING TO BUILDING TWO



PW1 & PW3  
BRICK TO FRONT FENCE & BUILDING ONE:  
PGH BRICKS, MCGARVIE RED  
[HTTP://WWW.PGHBRICKS.COM.AU/PRODUCTS/BRICKS/MCGARVIE-RED](http://www.pghbricks.com.au/products/bricks/mcgarvie-red)



PMR & PMG  
DOUBLE SEAMED ZINC ROOF TO BUILDING ONE  
FINISH: RHEINZINK, PATINA LINE, BLUE GREY ZINC  
[HTTPS://WWW.RHEINZINK.COM/EN/PRODUCTS/ROOF-SYSTEMS/ROOF-COVERING-SYSTEMS/DOUBLE-STANDING-SEAM/](https://www.rheinzink.com/en/products/roof-systems/roof-covering-systems/double-standing-seam/)



PW2 & PSC  
BRICK TO GAZEBO & BUILDING TWO:  
PGH BRICKS, CREMORNE  
[HTTP://WWW.PGHBRICKS.COM.AU/PRODUCTS/BRICKS/CREMORNE](http://www.pghbricks.com.au/products/bricks/cremorne)



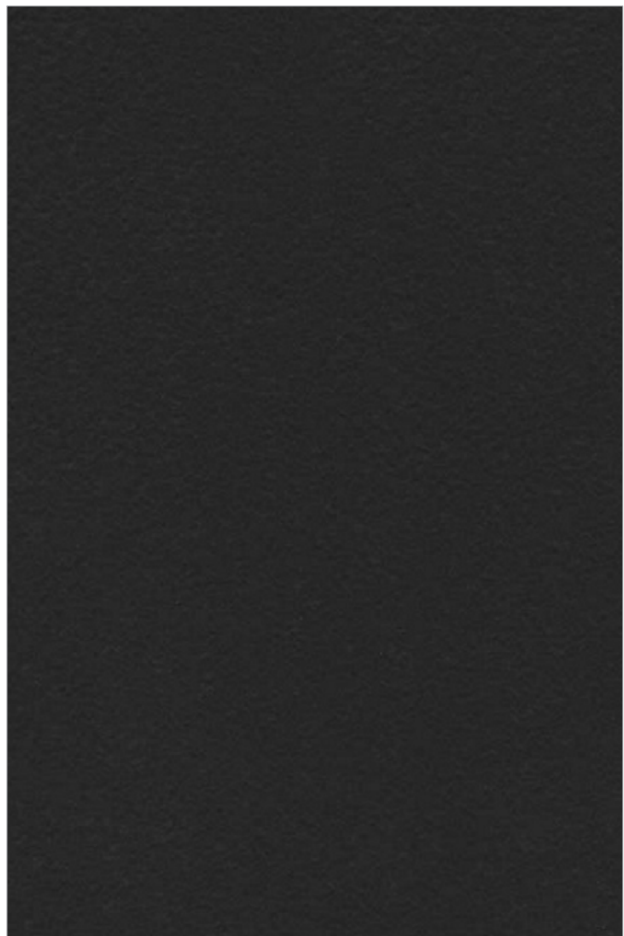
PSD, PSF, PSG & PSW  
STEEL FRAMEWORK TO BUILDING TWO  
FINISH: DULUX HIGH TEA GREEN S25B7



PTD  
TIMBER DOOR TO BUILDING TWO  
FINISH: DULUX HIGH TEA GREEN S25B7



PSD, PSF, PSG & PSW  
STEEL FRAMEWORK TO BUILDING ONE & CONSERVATORY  
FINISH: DULUX MANNEX BLACK 90132679



PTB  
TIMBER FLOOR TO BUILDING ONE



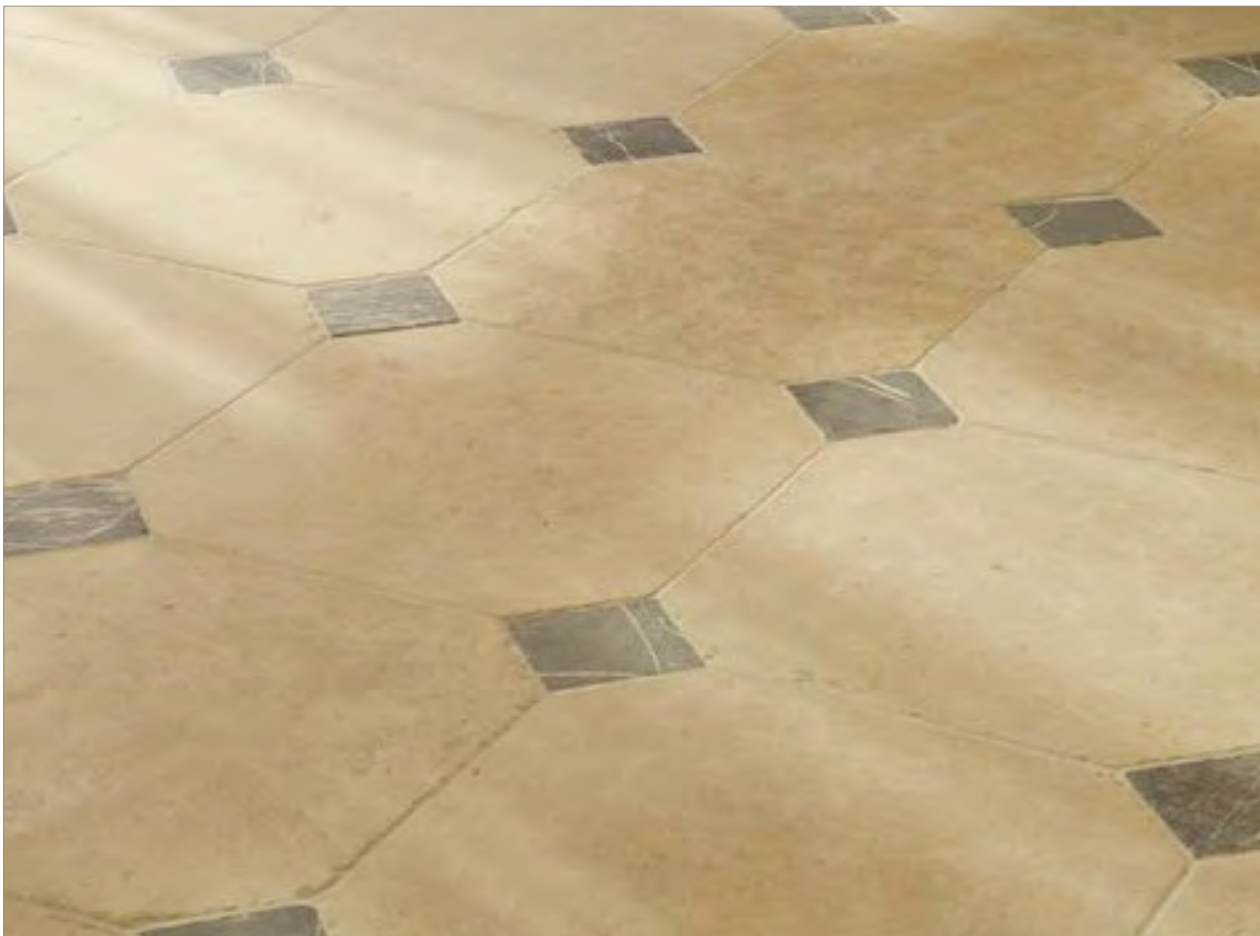
PPC  
POLISHED CONCRETE FLOOR TO ROASTERY



PP1  
PAVING TYPE 01 TO GAZEBO



PP2  
PAVING TYPE 02 TO GAZEBO



PTF  
TILE FLOOR TO BUILDING TWO

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THESE DRAWINGS ARE FOR THE PURPOSE OF DESIGN INTENT ONLY AND HAVE NOT BEEN CO-ORDINATED WITH OTHER CONSULTANTS PRIOR TO TENDER. CONFIRMATION AND CO-ORDINATION OF THE DESIGN SHOULD BE VARIFIED ON SITE.

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LEGEND

ISSUE FOR DA APPLICATION

C	30.05.17	ISSUE FOR DA APPLICATION
B	26.05.17	ISSUE FOR DA APPLICATION
A	25.12.16	ISSUE FOR DA APPLICATION
REV	DATE	DESCRIPTION

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DRAWING  
**EXTERNAL MATERIAL SELECTION**

PROJECT NO.	DATE	SCALE
<b>06:13</b>	<b>23.11.2016</b>	<b>NTS</b>

DRAWING NUMBER	REVISION
<b>A.07.01</b>	<b>C</b>